



BOARD OF DIRECTORS MEETING
Wednesday - July 21, 2021 | 7:00AM– 8:30AM
301 Walnut Street, 1st Floor Conference Room, Windsor, CO 80550
(NOTE: Meeting will be held IN PERSON only.)

Agenda

- A. Call to Order **7:00AM****

B. Roll Call

C. Review of Agenda by the Board and Addition of Items of New Business to the Agenda for Consideration by the Board

D. Public & Partner Agencies Invited to be Heard (*3 Minutes Per Person*)

E. Approval of Minutes from the Regular Board of Directors Meeting June 16, 2021.

F. Report of Bills, Budget Status – M. Ashby

G. KEY INITIATIVES: **7:30AM**

1. Backlot Boardwalk Update

i. Backlot Alley/Thru Lot

1. Ditesco Update – M. Ashby

2. Ehrlich Update – J. Liley

ii. Tribe Development Update

iii. 512 Ash

1. Temporary Parking Lot Site Plan – Status Update and Next Steps – J. Olhava

2. Mill Project Update - None

H. Executive Director’s Report – M. Ashby

1. 7th Street Corridor Plan Update

2. State Façade Program Update

3. Wayfinding Update

I. COMMUNICATIONS & NEWS:

1. Downtown Summer Wine Walk takes place Friday, July 30, 2021. To purchase tickets, please visit the Chambers Events webpage: windsorchamber.net/events.

J. Adjourn **8:30AM**

Note: Double Underlined items indicate attachments.



BOARD OF DIRECTORS MEETING

Friday June 25, 2021 | 7:00AM– 8:30AM

301 Walnut Street, 1st Floor Conference Room, Windsor, CO 80550

(NOTE: Meeting will be held IN PERSON only. Note Day and Time Change.)

MINUTES

Attendance: Dean Koehler, Dan Brunk, Heidi Washburn, Brent Phinney, Jim Cosner, Dan Stauss, Paul Rennemeyer. **Staff:** Matt Ashby, Josh Olhava, Josh Liley. **Guests:** Kelly Hall, Lauber.

- A. Call to Order **7:00AM****
B. Roll Call
C. Review of Agenda by the Board and Addition of Items of New Business to the Agenda for Consideration by the Board
Motion - BP: To approve as presented. Second. HW. Approved unanimously.
- D. Public & Partner Agencies Invited to be Heard (*3 Minutes Per Person*)
Welcome Josh Olhava, new staff member with Ayres.
- E. Approval of Minutes from the Regular Board of Directors Meeting May 19, 2021.
Motion – BP: To approve as presented. Second DK. Approved unanimously.
- F. Report of Bills, Budget Status – M. Ashby
MA: Staff met with Dean Moyer and reviewed the current budget and billing allocation. There are several adjustments being made. We also requested that the prior report format be provided. Next month will have a full report.
- G. KEY INTIATIVES: **7:30AM****
1. Backlot Boardwalk Update
 - i. Backlot Alley/Thru Lot
 1. Ditesco Update – M. Ashby, J. Burrell
MA: Provided an update on status.
 2. Ehrlich Update – J. Liley
JL: Family has been presented with a transfer of property in May. They don't have any issues with the agreement. Title work is being completed, carved out by metes and bounds. It was adjacent to the area of unknown ownership, so a bit messy. Estimated delivery – 1 to 2 weeks.
 - ii. Tribe Development Update
 1. *MA: Completed NDA to help evaluate a user for 4th Street property. A second tenant option has materialized. We will be working through the options to ensure that the DDA is respecting the intent of the ENA.*
 2. *A worksession with Tribe on July 13th will help to explore these issues and get feedback from the Boards.*
 3. *PR: Provided an update on the Town staff involvement in providing information to users regarding 4th Street. MA – Under the ENA with Tribe, they will have the right to present their vision.*
 - iii. Non-Disclosure Agreements Regarding Backlot Development Projects – Authorizing the Board Chair to execute NDAs on behalf of the DDA.

Note: Double Underlined items indicate attachments.

BP -motion: "I move that we authorize the Board Chair to execute non-disclosure agreements on behalf of the DDA, in a form acceptable to the Board Chair and DDA legal counsel, regarding backlot development projects." Second – HW. Approved unanimously. DK – I believe this is necessary.

iv. 512 Ash

1. Temporary Parking Lot Site Plan – M. Ashby

MA – Presented timing on issuing a bid.

DS – If Tribe identifies that they are interested in developing 512, would this be funding spent unnecessarily. PR – We have to remember, even if its developed, it would be a year before development might happen. So we should probably move forward. JL – The bid doc does not need to be approved by the board.

2. Mill Project Update

i. Entertainment District Feasibility Study Update –

MA – Provided an update. Existing Mill team is working on their own internal ED.

The current study will be prefaced to note how the concepts and tools can be used by other groups.

3. Board Officer Appointments and Committee Assignments – Board Chair, Vice Chair, Secretary and Treasurer and Related Topics

JL – Provided an overview of the roles and duties of the offices. Some history was provided regarding prior administration. For secretary, would look to define that role to attest contracts, but directing our staff to maintain minutes and forward those to the Town. For treasurer, there is a shared responsibility with staff and the Town. The Town maintains the ongoing budget and records, as well as paying invoices. This would be consistent with past practices. Regarding the Board Chair – it is a two term. Bob Winter served three terms. If you'd like to continue to have Dan serve, it would be an option. The original IGA provides a section that the Town provides services and there is a budget line in the DDA budget to pay for a portion of services.

MA – Dean Moyer indicated support to continue to provide services. Options for Board Chair would be to waive or change.

BP – I think changing horses during one of our largest development projects would be a good idea.

DK – Dan do you want to stay as Chair?

BP – Its definitely time consuming.

DS – It is time consuming. I enjoy it and it's a challenge. I'd like to see more dedicated participation. I want know what timing would be working best. And we need to advance the committee work. I also appreciate that staff answer the phone anytime I call, Saturdays, evenings. If there's any concerns, I'm happy to leave for the rest of the board to discuss. JL – A waiver has been presented.

PR – I appreciate the work that Dan puts in and think he should stay on. Dan's also had a lot of crucial relationships.

JL – I don't think folks realize the time that Dan puts in. Many of the projects wouldn't have happened without Dan.

DS – We also have a very supportive Mayor.

Motion - DB: To Nominate Dan Stauss and waive the two-term limit contained in Section 3.1 of the DDA bylaws. Second. BP. Approved Unanimously.

PR – Regarding the 90-minute meeting and individual situations, moving to 7AM would be positive.

Motion BP – Move our regular meeting time to 7AM on the 3rd Wednesday of the Month moving forward. Second. HW. Approved unanimously.

JL - For Secretary, we would make a nomination. BP – Nominate Dean Koehler but move that we delegate to the DDA's executive director the secretarial duties of record keeping, the taking of meeting minutes and the filing of meeting minutes with the Town Clerk of the Town of Windsor. Second – HW. Approved unanimously.

JL – For Vice Chair, there would be an open nomination. Brent is our current Vice Chair. DS – Our Friday morning calls have been positive and help to create continuity. Brent has good working relationships as well. Motion DS – Nominate Brent Phinney to continue as Vice Chairman. Second – DB. No other nominations. Approved Unanimously. PR – This role is generally the backup for the chairman.

BP – Treasurer. Motion BP – That the DDA delegate the duties of treasurer to the DDA's executive director, and authorize the DDA's executive director to delegate to the Town of Windsor's Finance Department certain of the financial record keeping responsibilities consistent with how the DDA and the Town of Windsor have shared this responsibility in the past. Second – HW. Approved Unanimously.

H. Executive Director's Report – M. Ashby

1. 7th Street Corridor Plan Update

MA – Had a meeting to discuss the design. BHA is working to provide some blended options to consider.

2. Wayfinding Grant Update

MA – presented an update on the Wayfinding grant and projected timeline. Expect to have sign content this week. Blended design next week and then Mead and Hunt will finalize the construction drawings to put out to bid.

3. State Façade Program Update

MA – Summary of what we know about the program. It is a great opportunity and would provide a boost to many downtown buildings. PR – I'm excited about this program. It could help to address some of the historic preservation efforts. HW – We've had a tough time to even get contractors to give us a bid. Who do I even call. MA – Provided information on consolidated grant and design opportunity.

I. COMMUNICATIONS & NEWS:

PR – Wine walk was approved by the liquor commission. Tickets are available.

J. Adjourn

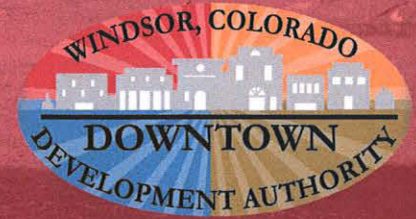
8:30AM

Move to adjourn - DK. Second – BP. Approved unanimously at 8:30AM.

Note: Double Underlined items indicate attachments.

DDA REPORT

Volume 9, Issue 5
May, 2021



WINDSOR DDA REVENUE

Summary May 31, 2021	Collections	Budget	% of Budget
Property Tax Mill Levy	\$11,791	\$42,289	27.88%
Auto Registration Tax	\$534	\$1,500	35.60%
Grants	\$4,793	\$8,000	59.91%
Incremental Property Tax	\$21,560	\$89,768	24.02%
Interest	(\$1)	\$5	-20.00%
Town of Windsor Funding	\$163,942	\$393,460	41.67%
Total	\$202,619	\$535,022	37.87%

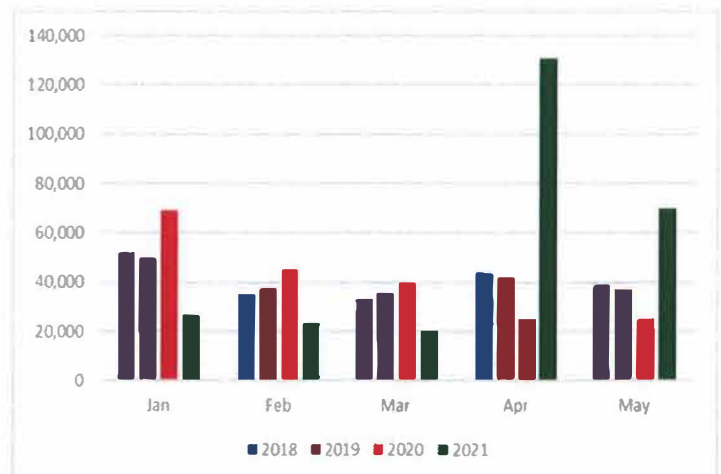
WINDSOR DDA EXPENDITURES

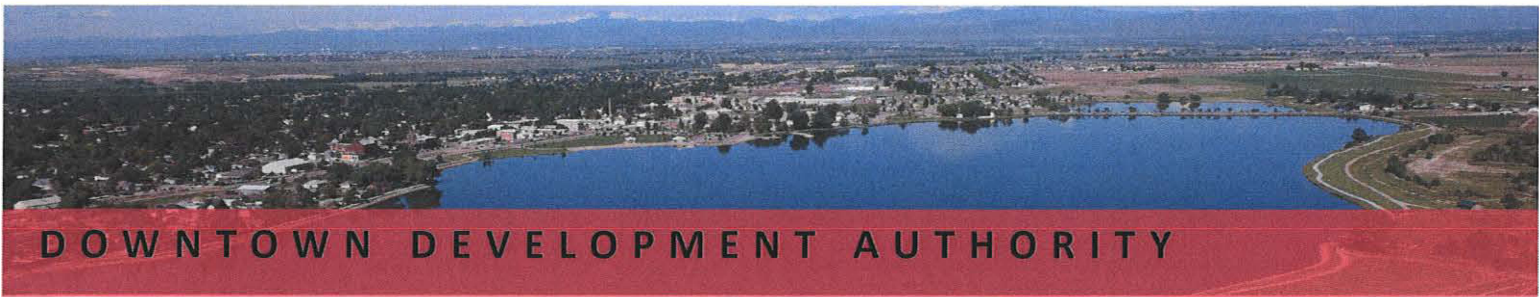
Summary May 31, 2021	Expenditures	Budget	% of Budget
Operations			
Office Supplies	\$1,800	\$3,600	50.00%
Public Relations/Advertising	\$5,131	\$20,000	25.66%
Board Development	\$36	\$2,500	1.44%
Dues/Fees/Subscriptions	\$0	\$6,500	0.00%
Special Equipment	\$12,808	\$20,000	64.04%
Street Repair/Maintenance	\$60	\$8,000	0.75%
Travel/Mileage	\$0	\$500	0.00%
Liability Insurance	\$0	\$5,000	0.00%
Legal Services	\$38,934	\$35,000	111.24%
Contract Services	\$35,410	\$150,000	23.61%
Postage	\$106	\$500	21.20%
Study Review/Consultant	\$5,188	\$187,000	2.77%
County Treasurer Fees	\$5,040	\$800	630.00%
Façade Program	\$0	\$40,000	0.00%
Administrative Transfer	\$2,083	\$5,000	41.66%
Operations Total	\$106,596	\$484,400	22.01%
Capital			
Site Improvements (Land)	\$176,805	\$300,000	58.94%
Site Improvements	\$0	\$70,592	0.00%
Capital Total	\$176,805	\$370,592	47.71%
Grand Total	\$283,401	\$854,992	33.15%

POINTS OF INTEREST

- Sales Tax collections through May 2021 = \$271,108, which is \$66,387 or 32.4% greater than collected through May 2020. This is about 69% of the estimated revenues for the year, with only 41% of the year accounted for.
- Revenue is trailing the budget benchmark of 41.7%, likely due to only 1/4 of property tax revenue being received.
- Year-to-Date expenditures are 33.2% of the budget. Expenditures shown for Legal Services includes invoices that were improperly tagged. These are being shifted to the correct number and the actual legal total for the year is \$18,557 or 53% of the budget.
- Site improvements expenditures reflects the 512 Ash Demolition work. Staff anticipate the reimbursement of \$76,080 from the Town to account for their cost sharing of the demolition.

MONTHLY SALES TAX COMPARISON





DDA MISSION STATEMENT

It is the mission of the Windsor DDA to create a prosperous, vibrant, energetic, and clean town center, by marketing downtown opportunities, retaining and expanding current business opportunities, preserving downtown charm, and enhancing physical appearance and amenities through partnerships with the community and stakeholders.

Windsor Downtown Development

P.O. Box 381
Windsor, CO 80550
Email: info@windsordda.com
Windsordda.com



PLAN OF DEVELOPMENT PROJECTS

The projects, facilities, programs and functions to be established and provided in the district will benefit and promote the health, safety, prosperity, security and general welfare of all occupants and owners thereof and will prevent deterioration of property values, will prevent the growth of blighted areas, and will be of special benefit to all property within the district.

- A. The promotion of, participation in, and assistance to private and public developments consistent with the priorities of the DDA by all means permitted by federal, state and local laws and regulations, including but not limited to, land assemblage, and/or acquiring, constructing, reconstruction, rehabilitating, equipping, selling and leasing space.
- B. Public facilities and improvements as necessary to complement private developments.

DDA BOARD

Matt Ashby, Executive Director — director@windsordda.com

Dan Strauss, Chairperson — dan@windsordda.com

Term: July 2022

Heidi Washburn — heidi@sfheidi.com

Term: July 2022

Dean Koehler — dean@windsordda.com

Term: July 2025

Jim Cosner — topperformer@msn.com

Term: June 2024

Dan Brunk — dan@haydenoutdoors.com

Term: June 2024

Brent Phinney — brentphinney@hotmail.com

Term: July 2025

Paul Rennemeyer, TOW Board Liaison—prennemeyer@windsorgov.com

Report of Bills - DDA

Second Quarter 2021



TOWN OF WINDSOR
 301 WALNUT STREET
 WINDSOR, CO 80550
WWW.WINDSORGOV.COM
 (970) 674-2400
 MON-FRI 8AM TO 5PM

Check No.	Vendor/Employee	Transaction Description	Date	Amount
Fund: 19 DOWNTOWN DEVELOPMENT AUTHOR				
Department: 486 DOWNTOWN DEVELOPMENT AU				
98411	COLORADO CIVIL GROUP	RAILROAD PARCEL FENCE PLAN - DDA	04/02/2021	4,144.00
98413	JOSHUA C LILEY	DDA GENERAL COUNSEL SERVICES	04/02/2021	7,657.00
98427	XCEL ENERGY	XCEL BILL - DDA-02/26/21 - 03/25/21	04/09/2021	19.42
98431	WELD COUNTY TREASURER	DDA PROPERTY TAX PARCEL 080721202005	04/09/2021	4,539.38
98504	STEPHEN P DINARDO	EXPENSES	04/09/2021	8,676.14
98516	KING SURVEYORS INC	SET PIN / FINALIZE ALTA SURVEY	04/16/2021	602.50
98644	WENDY BURT-THOMAS	WINDSOR DDA JAN-MAR 2021 EMAILS, MEDIA, WEBSITE	04/23/2021	1,200.00
98668	HUDSPETH & ASSOCIATES INC	PAY APPLICATION 1	04/23/2021	119,138.00
98751	AYRES ASSOCIATES INC	BOARD EXPENSE - TOAST	04/30/2021	15,111.32
98771	STEPHEN P DINARDO	CORRESPONDANCE, BUDGETS, ZOOM MEETINGS, PROJECTS - DDA	04/30/2021	2,500.00
98775	COLORADO CIVIL GROUP	RAILROAD PARCEL FENCE PLAN	04/30/2021	2,085.00
98826	VISTA WORKS	DESIGN SERVICES - DOMAIN NAME SERVICE - WINDSORDDA.ORG	05/07/2021	99.80
98829	SMART MARKETING LLC	WINDOW CLINGS AND DESIGN	05/07/2021	362.52
98932	SMART MARKETING LLC	WINDOW CLINGS AND DESIGN	05/14/2021	118.77
98966	JOSHUA C LILEY	DDA GENERAL COUNSEL SERVICES	05/14/2021	3,705.00
99020	VISTA WORKS	DDA WEBSITE HOSTING BASIC HOSTING PLAN	05/21/2021	240.00
99044	CENTURY ENVIRONMENTAL HYGIENE LLC	DEMOLITION OF 512 ASH STREET	05/21/2021	6,956.00
99130	COLORADO CIVIL GROUP	DDA - RAILROAD PARCEL FENCE PLAN	05/28/2021	472.50
99142	XCEL ENERGY	XCEL BILL - DDA - 03/25 - 04/15/21	06/04/2021	19.40
99194	STREETSCAPES INC	PATIO TABLES AND CHAIRS FOR DDA	06/04/2021	1,466.34
99273	AYRES ASSOCIATES INC	DDA SPECIFIC INITIATIVES: BACKLOTS, 512 ASH, GRANTS	06/11/2021	13,598.20
99336	WINDSOR CHAMBER OF COMMERCE	WINDSOR CHAMBER PLATINUM MEMBERSHIP - DDA	06/18/2021	5,000.00
99460	TOWN OF WINDSOR CRC	DDA FARMERS MARKET SPONSORSHIP	06/25/2021	1,000.00
Total for Department: 486 DOWNTOWN DEVELOP				198,711.29
Total for Fund:19 DOWNTOWN DEVELOPMENT				198,711.29

Downtown Development Authority

Sales Tax Collections Trend - 2020 Q1 to 2021 Q1

Q1 2020 vs 2021 (Blocks)

- Increased Sales Tax
- Decreased Sales Tax



Note: Figures for the Windsor Farmers' Market and Windsor Wonderland have been excluded from these calculations due to the fact they are not DDA members.



MEMORANDUM

Date: July 21, 2021
To: Downtown Development Authority Board of Directors
From: Josh Olhava, DDA Project Manager
Re: 512 Ash Street – Status Update and Next Steps

Sample Motions:

"I move for staff to pursue [select option from list below or a custom option] as the next steps for the 512 Ash property. "

Background & Discussion:

In June, staff received the Town's review comments and an updated cost estimate for the 512 Ash St temporary parking lot improvements. After careful review, staff is requesting additional review and direction from the Board. As a quick overview for the Board's information, the site plan and interim improvements currently include:

- Scraping the lot
- Concrete curb and gutter work based on revised ingress/egress points
- Concrete for accessible parking spaces and a sidewalk connection to the existing 5th St sidewalk.
- Laying recycled asphalt down at six inches (6") for drive aisles and parking spaces
- Spreading native seed mix in perimeter areas
- Installing wheel stops and timbers to delineate the parking spaces

Prior to finalizing the site plan and submitting to the Town, staff held preliminary design conversations with Town staff to ensure the site plan application would meet the Town's requirements and expectations. The following summarized list of review comments were received from the Town on the final site plan application:

- Opportunities to add on-site lighting for the parking lot
- Include a sidewalk or crusher fines walkway along Ash St
- Add fencing along the railroad tracks
- Adjust one ADA parking space due to placement conflicts
- Include bike racks

In addition to these comments, staff received an updated cost estimate for the temporary improvements of roughly \$145,000, which is substantially higher than the original informal estimate staff received this past spring. As noted by our design consultant, Interwest Consulting:

"Construction costs have been highly irregular and unpredictable over the past year. This is mostly attributed to availability of material and impacts the DDA parking lot specifically due to availability of aggregate for the surfacing material and aggregate in concrete. The price of wood products has also been on the rise and that will impact the availability and cost of the timber parking stall dividers. The cost estimate provided for the DDA parking lot is based on the average unit prices from the 3 low bidders on the Eastman Park Gravel parking lot that recently finished construction. That bid was completed in August 2020."

Based on the discussions with Tribe, we are unsure what the phasing and timing of their project will be and how that could influence the decision to make interim improvements to 512 Ash.

Due to increasing construction costs because of additional Town comments and fluctuating market conditions; and ongoing discussions with Tribe regarding the redevelopment of these backlots, staff is requesting direction from the Board for next steps related to the 512 Ash property.

To aid in the Boards discussion, staff prepared the follow list of options that can be used as-is or be modified by the Board as part of a motion.

- Option 1.** Work with Town staff to address their comments on the plans.

- Option 2.** Value engineer the current site plan to reduce anticipated costs and modify the site plan accordingly.
 - a. Due to fluctuating construction costs, the total cost may not be known until a formal bid is prepared and work commences on the site. It is likely the cost would still be at or above \$100,000.

- Option 3.** Make minor improvements to the property. Such minor improvements could be one or a combination of the following items:
 - a. Install temporary fencing along the railroad tracks (ex. the lot east of 5th St).
 - b. Install public parking signage with any necessary disclaimers for liability.
 - c. Add base rock or recycled aggregates to level the site (*ex. what was done on the lot east of 5th St years ago*).

- Option 4.** Do nothing with the current site plan and request Town consideration of parking at the Public Works Block
 - a. This would allow 512 Ash to be used as it has been recently as an informal temporary parking lot.

If the Board chooses any option that would result in some level of improvements to the site, staff would request that the Board select a 'not to exceed' amount that staff can work with on necessary estimates, with final approval from the Chairman. Staff would provide the necessary updates to the Board as information is made available.

Attachments:

- Current Site Plan
- Preliminary Cost Estimate

ATTACHMENT 1

WINDSOR DDA - TEMPORARY GRAVEL PARKING LOT CONSTRUCTION PLANS

ACKNOWLEDGEMENT OF OWNERSHIP INTEREST

Know all men by these presents that the undersigned, being all the owners, lienholders, and holders of any ownership interest as defined by the Town of Windsor, of the land described hereon, have caused such land to be site planned as indicated on this site plan. The within site plan is submitted in accordance with the Windsor Municipal Code. It is hereby acknowledged that all construction, use and development of this property will be in strict accordance with this site plan. It is further acknowledged that deviation from this site plan without the express written consent of the Town of Windsor may result in revocation of the Town's approval of the site plan, denial of building permits, refusal to issue certificates of occupancy, injunctive relief prohibiting use of the property and other remedies available to the Town under the Windsor Municipal Code and other applicable laws of the State of Colorado. Know all men by these presents that the undersigned have caused said land to be laid out and site planned under the name of Lot 4, Diamond Valley Subdivision 4th Filing.

In witness whereof, we have herunto set our hands and seals this the ____ day of _____, 2021.

OWNER:

(Owner Signature)

NOTARIAL CERTIFICATE

STATE OF COLORADO

COUNTY OF _____

The foregoing instrument was acknowledged before me by _____,
this ____ day of _____, 2021.

My Commission expires: _____ Notary Public _____

EASEMENT APPROVAL

Utility easements are adequate as shown and are hereby approved.

Town of Windsor Public Works Department Century Link Communications Xcel Energy

Comcast Cable Poudre Valley REA

ENGINEERING DEPARTMENT APPROVAL

Approved this the ____ day of _____, 20__.

Deputy Director of Engineering

PLANNING DEPARTMENT APPROVAL

Approved this the ____ day of _____, 20__.

Director of Planning

MAYOR'S CERTIFICATE

This is to verify that a site plan of the property described herein is approved by the Town of Windsor passed and adopted on this the ____ day of _____, 20__, A.D. and that the Mayor of the Town of Windsor, on behalf of the Town of Windsor, hereby acknowledges and adopts the said site plan upon which this certificate is endorsed for all purposes indicated thereon.

Mayor ATTEST _____
Town Clerk

TOWN MANAGER'S APPROVAL

Approved this the ____ day of _____, 20__.

Town Manager

PUBLIC WORKS DEPARTMENT APPROVAL

Approved this the ____ day of _____, 20__.

Director of Public Works

PREPARE'S CERTIFICATE

I certify that this _____ was prepared by me or under my direct supervision

Print Name _____
Signature
Prepare of Site Plan

NOTICE OF OTHER DOCUMENTS

All persons take notice that certain documents have been executed pertaining to this development, which create certain rights and obligations of the development, the developer and/or subsequent owners of all or portions of the development site, many of which obligations constitute promises and covenants that run with the land. These documents are of record and are on file with the director of planning of the Town of Windsor and should be closely examined by all persons interested in purchasing any portion of the development site.

LEGAL DESCRIPTION:

A PLAT OF A PARCEL OF LAND IN THE TOWN OF WINDSOR, COUNTY OF WELD, COLORADO LOCATED IN SECTION 16, TOWNSHIP 6 NORTH, RANGE 67 WEST OF THE 6TH P.M. AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOT 23, BURLINGTON SUBDIVISION

ZONING:

CB - CENTRAL BUSINESS DISTRICT



VICINITY MAP

NTS

BENCHMARK:

TOWN OF WINDSOR BENCH MARK #17
WIN 68.5-257.1997
IN THE VICINITY OF THE E 1/4 CORNER OF SECTION 17, T6N, R67W, 9'
EAST OF EDGE OF ASPHALT HWY 257, 1.5' W OF LIGHT POLE AND NW OF
K.C.'S DOG GROOMING LOCATED 317 N 7TH STREET.
NAVD 1988 ELEVATION=4800.216
NGVD 1929 ELEVATION=4797.151

LAND USE DATA

	AREA (SF)	%
GRAVEL PARKING / DRIVES	27,450	69.89
SIDEWALK / HARDSCAPE	1,298	3.31
OPEN SPACE / LANDSCAPE	10,526	26.80
TOTAL GROSS COVERAGE	39,274	100.00

PROJECT PARKING

	TOTAL
PARKING STALLS	78
HANDICAP SPACES	4
TOTAL	82

INDEX OF SHEETS

SHEET NO.	DESCRIPTION OF SHEETS
1	COVER SHEET
2	GENERAL NOTES
3	HORIZONTAL CONTROL PLAN
4	GRADING PLAN
5	DRAINAGE & EROSION CONTROL PLAN
6	CONSTRUCTION DETAILS

OWNER

WINDSOR DDA
301 WALNUT STREET
WINDSOR, COLORADO 80550
PH. 970.223.5556
CONTACT: MIKE SCHOLL

ENGINEER

INTERWEST CONSULTING GROUP
1218 W. ASH, SUITE A
WINDSOR, COLORADO 80550
PH. 970.460.1091
CONTACT: SKYLAR BROWER

SURVEYOR

COFFEY ENGINEERING & SURVEYING
4045 ST CLOUD DRIVE
LOVELAND, COLORADO 80538
PH. 970.622.2095
CONTACT:

1218 W. Ash, Suite A
Windsor, CO 80550
Phone: (970) 674-3300
Fax: (970) 674-3303



PREPARED FOR

WINDSOR DDA

301 WALNUT STREET
WINDSOR, CO 80550
PHONE: 970.674.2400

WINDSOR DDA GRAVEL PARKING LOT

COVER SHEET

DATE: 06/03/21

SCALE (H): N/A

SCALE (V): N/A

DESIGNED BY: SB

CHECKED BY: SB

PRELIMINARY
NOT FOR CONSTRUCTION

TOWN OF WINDSOR
DRAWING REVIEW

REVIEW IS FOR GENERAL COMPLIANCE WITH
TOWN STANDARDS. NO RESPONSIBILITY
IS ASSUMED FOR CORRECTNESS OF DESIGN.

DATE: _____ BY: _____
DEPUTY DIRECTOR OF ENGINEERING

PROJ. NO. 1467-22-1-00

1 OF 6

STANDARD GENERAL NOTES FOR CONSTRUCTION PLANS

- ALL STREET, SANITARY SEWER, STORM SEWER AND WATERLINE CONSTRUCTION SHALL CONFORM TO THE TOWN OF WINDSOR STANDARDS AND SPECIFICATIONS CURRENT AT THE DATE OF EXECUTION OF THE DEVELOPMENT AGREEMENT PERTAINING TO THIS DEVELOPMENT. ANY CONSTRUCTION OCCURRING THREE YEARS OR MORE AFTER THE EXECUTION OF THE DEVELOPMENT AGREEMENT SHALL REQUIRE RE-EXAMINATION OF THE PLANS BY THE TOWN ENGINEER, WHO MAY REQUIRE THAT THEY BE MADE TO CONFORM TO STANDARDS AND SPECIFICATIONS CURRENT AT THAT TIME.
- STREET PAVING SHALL NOT BEGIN UNTIL SUBGRADE COMPACTION TESTS ARE TAKEN AND THE TOWN ENGINEER APPROVES THE RESULTS.
- THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE SOILS REPORT PREPARED FOR THIS PROJECT AND APPROVED BY THE TOWN ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE UTILITY NOTIFICATION CENTER OF COLORADO (CALL BEFORE YOU DIG), 811, CALL TWO BUSINESS DAYS PRIOR (NOT INCLUDING THE DAY OF THE CALL) TO DIGGING, GRADING OR EXCAVATING FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.
- 48 HOURS PRIOR TO ANY EARTH DISTURBANCE, THE CONTRACTOR SHALL NOTIFY THE TOWN ENGINEER (970) 674-2400.
- 48 HOURS PRIOR TO ANY EARTH DISTURBANCE, THE CONTRACTOR SHALL NOTIFY THE STORMWATER PROGRAM COORDINATOR (970) 674-2490 TO SET UP THE REQUIRED INITIAL GRADING, EROSION AND SEDIMENT CONTROL INSPECTION.
- THE CONTRACTOR SHALL INSTALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO CONSTRUCTION AND SHALL MAINTAIN THE EROSION CONTROL MEASURES DURING CONSTRUCTION, AS IDENTIFIED ON THE GRADING, EROSION AND SEDIMENT CONTROL PLAN (GESCOP). THE STORMWATER PROGRAM COORDINATOR SHALL APPROVE ANY MODIFICATION OF A CONTROL MEASURE IDENTIFIED ON THE GESCOP PRIOR TO INSTALLATION. MAINTENANCE OF ONSITE DRAINAGE AND EROSION CONTROL FACILITIES DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT ALL UTILITIES TO COORDINATE SCHEDULES.
- PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION THAT WILL AFFECT TRAFFIC SIGNS OF ANY TYPE, THE CONTRACTOR SHALL CONTACT THE TOWN ENGINEER, PHONE (970) 674-2400.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION:
 - ALL SIGNS, STRIPING AND TRAFFIC CONTROL DEVICES SHALL CONFORM TO, AND PLACEMENT SHALL BE PERFORMED IN ACCORDANCE WITH, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION AND CDOT M&S STANDARDS, LATEST EDITION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND CLEANING OF TRAFFIC CONTROL DEVICES.
 - THE CONTRACTOR SHALL MAINTAIN EXISTING PAVEMENT MARKINGS DURING CONSTRUCTION OPERATIONS, IN CONFORMANCE WITH CONSTRUCTION DOCUMENTS.
 - REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE SURFACE OR TEXTURE OF THE PAVEMENT OR EXISTING SURFACING. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY ARE NOT VISIBLE UNDER DAY OR NIGHT CONDITIONS.
- THE CONTRACTOR SHALL CONTACT THE TOWN OF WINDSOR CONSTRUCTION INSPECTOR PRIOR TO ANY STREET CUT. THE EXISTING STREET CONDITIONS SHALL BE DOCUMENTED BY THE TOWN OF WINDSOR CONSTRUCTION INSPECTOR BEFORE ANY CUTS ARE MADE. ANY STREET PATCHING SHOWN ON THE DRAWINGS IS APPROXIMATE. ACTUAL LIMITS OF STREET PATCH SHALL BE DETERMINED BY THE TOWN OF WINDSOR CONSTRUCTION INSPECTOR. PATCHING SHALL BE DONE IN CONFORMANCE WITH TOWN OF WINDSOR DIVISION I STREETS DESIGN CRITERIA AND CONSTRUCTION SPECIFICATION (SECTION 02555). ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE. IN STREETS WHERE MORE THAN ONE CUT IS MADE, AN OVERLAY OF THE ENTIRE STREET WIDTH, INCLUDING THE PATCHED AREA, MAY BE REQUIRED. IN ACCORDANCE WITH THE REFERENCED SPECIFICATIONS< THE TOWN ENGINEER SHALL MAKE THE DETERMINATION OF THE NEED FOR A COMPLETE OVERLAY.
- THE CONTRACTOR SHALL RESTORE ANY DISTURBED AREAS TO EQUAL OR BETTER CONDITION THAN EXISTED BEFORE CONSTRUCTION. DRAINAGE DITCHES OR WATERCOURSES THAT ARE DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO THE GRADES AND CROSS-SECTIONS THAT EXISTED BEFORE CONSTRUCTION, UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION DOCUMENTS.
- PRIOR TO CLOSEOUT OF ANY TOWN ISSUED GRADING EROSION AND SEDIMENT CONTROL PLAN, ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES WILL HAVE A UNIFORM VEGETATIVE COVER ESTABLISHED WITH AN INDIVIDUAL PLANT DENSITY OF AT LEAST 70 PERCENT OF PRE-DISTURBANCE LEVELS OR EQUIVALENT PERMANENT, PHYSICAL EROSION REDUCTION METHODS.
- THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, PROPERTY CORNERS, REFERENCE POINTS, STAKES AND OTHER SURVEY REFERENCE MONUMENTS OR MARKERS. IN CASE OF WILLFUL OR CARELESS DESTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATIONS. RESETTING OF MARKERS SHALL BE PERFORMED UNDER THE DIRECTION OF A COLORADO LICENSED PROFESSIONAL LAND SURVEYOR.
- THE CONTRACTOR SHALL IMMEDIATELY REMOVE ANY CONSTRUCTION DEBRIS AND MUD TRACKED ONTO EXISTING ROADWAYS. THE CONTRACTOR SHALL REPAIR ANY EXCAVATION OR PAVEMENT FAILURES CAUSED BY THE CONSTRUCTION.
- ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
- THE TYPE, SIZE, LOCATION AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE CONSTRUCTION DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK PRIOR TO COMMENCING ANY NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE OF ANY UNKNOWN UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL NOTIFY THE TOWN OF WINDSOR PUBLIC WORKS DEPARTMENT AT (970) 674-5400 AT LEAST 48 HOURS PRIOR TO INSTALLING A NEW SEWER SERVICE.
- THE CONTRACTOR SHALL NOTIFY THE TOWN OF WINDSOR PUBLIC WORKS DEPARTMENT AT (970) 674-5400 AT LEAST 48 HOURS PRIOR TO INSTALLING A NEW WATER SERVICE OR ABANDONING AN EXISTING WATER SERVICE.
- THE TOWN OF WINDSOR SHALL NOT BE RESPONSIBLE FOR OPERATION, MAINTENANCE OR REPAIR OF STORM DRAINAGE FACILITIES LOCATED ON PRIVATE PROPERTY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE SERVICES OF A QUALIFIED TESTING LABORATORY TO PERFORM ALL COMPACTION TESTING, ASPHALT TESTING, CONCRETE TESTING AND ANY OTHER TESTING AS MAY BE REQUIRED TO COMPLETE THE WORK. QUALITY CONTROL TEST RESULTS MUST BE SUBMITTED FOR ALL PHASES OF THIS PROJECT PER THE TOWN'S REQUIREMENTS.
- THE CONTRACTOR SHALL MAINTAIN ONE (1) SET OF "REDLINED" PRINTS OF THE CONSTRUCTION PLANS. THE "REDLINED" PRINTS SHALL BE KEPT CURRENT TO ACCURATELY REPRESENT THE DIMENSIONS AND LOCATIONS OF ALL WORK PERFORMED BY THE CONTRACTOR. PRIOR TO FINAL PAYMENT, THE CONTRACTOR MUST PRESENT THE "REDLINED" PRINTS TO THE OWNER'S ENGINEER FOR PREPARATION OF A SET OF REPRODUCIBLE "RECORD DRAWINGS" WHICH SHALL BE SUBMITTED TO THE TOWN WITHIN 30 DAYS OF CONSTRUCTION ACCEPTANCE OF THE PROJECT BY THE TOWN.
- THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING ALL REQUIRED LOT STAKING AND CONSTRUCTION STAKING. THE CONTRACTOR SHALL COORDINATE THROUGH THE OWNER'S DESIGNATED REPRESENTATIVE TO ASSURE THAT THE SURVEYOR IS GIVEN ADEQUATE NOTICE AND INSTRUCTION IN ORDER TO COMPLETE THE SURVEY REQUIREMENTS FOR THE VARIOUS PHASES OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF RE-SURVEYING REQUIRED DUT TO THE CONTRACTOR'S OR SUBCONTRACTOR'S, ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS ASSOCIATED WITH RESCHEDULING THE SURVEYOR TO ACCOMMODATE THE CONTRACTOR'S REQUESTS FOR UNSCHEDULED STAKING.
- THE CONTRACTOR SHALL PROVIDE AND IMPLEMENT A "TRAFFIC CONTROL PLAN" RELATED TO ALL CONSTRUCTION ACTIVITIES FOR THIS PROJECT.
- THE CONTRACTOR SHALL PERFORM ALL WORK ACCORDING TO ALL TOWN, COUNTY, STATE AND FEDERAL SAFETY AND HEALTH REGULATIONS, IN PARTICULAR, THE TRENCHING AND OPEN EXCAVATION OPERATIONS SHALL COMPLY WITH ALL CURRENT O.S.H.A. REGULATORY REQUIREMENTS.
- ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY." FOR INFORMATION CONTACT THE COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, WQCD-P-B2, 4300 CHERRY CREEK DRIVE SOUTH, DENVER, COLORADO, 80246-1530. ATTENTION: PERMITS AND ENFORCEMENT SECTION, PHONE: (303) 692-3500. A COPY OF THE CONTRACTOR'S PERMIT CERTIFICATION MUST BE SUBMITTED TO THE STORMWATER PROGRAM COORDINATOR.
- WHEN DISCHARGING GROUNDWATER, ALL DEWATERING METHODS SHALL BE IN CONFORMANCE WITH ALL LAWS AND REGULATIONS OF THE STATE - INCLUDING OBTAINING A COLORADO DISCHARGE PERMIT SYSTEM PERMIT FOR CONSTRUCTION DEWATERING AND WASTEWATER DISCHARGE, IF APPLICABLE. THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORMWATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK.
- THE ENGINEER WHO HAS PREPARED THESE PLANS, BY EXECUTION AND/OR SEAL HEREON, DOES HEREBY AFFIRM RESPONSIBILITY TO THE TOWN OF WINDSOR, AS A BENEFICIARY OF SAID ENGINEER'S WORK, FOR ANY ERRORS AND OMISSIONS CONTAINED IN THESE PLANS, AND APPROVAL OF THESE PLANS SHALL NOT RELIEVE THE ENGINEER WHO HAS PREPARED THESE PLANS OF ANY SUCH RESPONSIBILITY.
- THE CONTRACTOR SHALL HAVE A REGISTERED LAND SURVEYOR THE OUT AND RESET ANY PROPERTY CORNERS OR SECTION CORNERS PLANNED TO BE DISTURBED BY CONSTRUCTION OF THIS PROJECT, AND SHALL HAVE A REGISTERED LAND SURVEYOR REESTABLISH ANY PROPERTY CORNERS INADVERTENTLY DISTURBED DURING THE CONSTRUCTION OF THIS PROJECT.

GRADING, EROSION AND SEDIMENT CONTROL NOTES

- ANY LAND DISTURBANCE WITHIN THE LIMITS OF DISTURBANCE NOTED ON THIS PLAN BY ANY OWNER, DEVELOPER, BUILDER, CONTRACTOR, OR OTHER PERSON SHALL COMPLY WITH THE BEST MANAGEMENT PRACTICES REQUIREMENTS AND PROHIBITIONS NOTED IN THE USDCM VOL. III STORMWATER QUALITY CHAPTER, NOTE: THE USE OF STRAW BALE BARRIERS (SBB), NOTED AS SC-03 IN THE URBAN STORM DRAINAGE CRITERIA MANUAL, IS DISCOURAGED IN THE TOWN. SPECIFIC APPROVAL FROM THE TOWN'S STORM WATER PROGRAM COORDINATOR IS REQUIRED FOR USE.
- NON-COMPLIANCE AND ANY NOTICE OF VIOLATION IS THE RESPONSIBILITY OF THE OWNER SIGNING THESE PLANS.
- NO CLEARING, GRADING, EXCAVATION, FILLING OR OTHER LAND DISTURBANCE ACTIVITIES SHALL BE PERMITTED UNTIL SIGNOFF AND ACCEPTANCE OF THE GRADING, EROSION AND SEDIMENT CONTROL PLAN IS RECEIVED FROM TOW ENGINEERING, AND AN INITIAL INSPECTION HAS BEEN COMPLETED.
- THE INSTALLATION OF THE FIRST LEVEL OF TEMPORARY SEDIMENT AND EROSION CONTROL FACILITIES AND BMPS SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY EARTH DISTURBANCE TAKING PLACE. CALL THE STORMWATER PROGRAM COORDINATOR, (970) 674-2490, 48 HOURS PRIOR TO CONSTRUCTION.
- SEDIMENT (MUD AND DIRT) TRANSPORTED ONTO A PUBLIC ROAD, REGARDLESS OF THE SIZE OF THE SITE, SHALL BE REMOVED AND PROPERLY DISPOSED OF IMMEDIATELY. POWER WASHING OF PAVEMENT IS NOT ALLOWED.
- CONCRETE WAS WATER SHALL NOT BE ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING GROUNDWATER AND ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASH WATER, AND WASTE WATER USED IN RINSING TOOLS USED FOR GROUT, MORTAR, SAW CUTTING, AND SIMILAR MATERIALS SHALL BE COLLECTED IN AN APPROVED WASH OUT AREA, REMOVED REGULARLY, AND DISPOSED OF APPROPRIATELY.
- SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN FOURTEEN (14) CALENDAR DAYS AFTER FINAL GRADING OR FINAL EARTH DISTURBANCE HAS BEEN COMPLETED. DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN THIRTY (30) DAYS SHALL ALSO BE MULCHED WITHIN FOURTEEN (14) DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM DORMANT STATE FOR MORE THAN SIXTY (60) DAYS SHALL BE SEEDED AND MULCHED (CONDITIONS PERMITTING), OR AN APPROPRIATE SOIL BINDER SHALL BE APPLIED IF CONDITIONS DO NOT PERMIT SEED GERMINATION, WITHIN FOURTEEN (14) DAYS AFTER GRADING OPERATIONS CEASE. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMPS SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED.
- THE GRADING, EROSION AND SEDIMENT CONTROL PLAN WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY THE TOWN OF WINDSOR ENGINEERING SHOULD ANY OF THE FOLLOWING OCCUR: GRADING DOES NOT COMMENCE WITHIN TWELVE (12) MONTHS OF THE TOWN ENGINEER'S ACCEPTANCE OF THE PLAN, A CHANGE IN PROPERTY OWNERSHIP, PROPOSED DEVELOPMENT CHANGES, OR PROPOSED GRADING REVISIONS.
- ACCEPTANCE OF THIS PLAN DOES NOT CONSTITUTE APPROVAL TO GRADE IN ANY UTILITY EASEMENT OR RIGHT-OF-WAY. APPROVALS TO GRADE WITHIN UTILITY EASEMENTS MUST BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANY. IT IS NOT PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH ON ANY TOWN OF WINDSOR EASEMENT OR UTILITY RIGHT-OF-WAY WITHOUT WRITTEN APPROVAL FROM THE ROW OWNER. THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO EXISTING UTILITY FACILITIES TO ACCOMMODATE THE PLAN MUST BE APPROVED BY THE AFFECTED UTILITY OWNER PRIOR TO IMPLEMENTING THE PLAN. THE COST TO RELOCATE OR PROTECT EXISTING UTILITIES OR TO PROVIDE INTERIM ACCESS IS THE EXPENSE OF THE OWNER SIGNING THESE PLANS.
- THIS PLAN CONTAINS EROSION AND SEDIMENT CONTROL METHODS AND BEST MANAGEMENT PRACTICES (BMPS) TO BE USED DURING CONSTRUCTION; ADDITIONAL MEASURES AND BMPS MAY BE REQUIRED AS CONDITIONS CHANGE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE COMPLIANCE WITH FEDERAL, STATE, AND TOWN OF WINDSOR REQUIREMENTS, AND THE STORMWATER PROGRAM COORDINATOR MUST BE NOTIFIED OF ANY MAJOR CHANGES.
- ALL BMPS ARE TO BE MAINTAINED PER THE SPECIFICATIONS NOTED IN THIS PLAN. IF ANY SUBSTANTIAL DEVIATION FROM INSTALLATION/IMPLEMENTATION SPECIFICATIONS MAY BETTER SUIT A PARTICULAR APPLICATION, CONTACT THE STORMWATER PROGRAM COORDINATOR FOR APPROVAL BEFORE INSTALLATION, OR MAKING A CHANGE TO THE BMP OR ITS LOCATION.
- SOILS EXPOSED BY LAND DISTURBING ACTIVITIES ON SLOPES SHALL BE KEPT IN A ROUGHENED CONDITION BY RIPPING/DISKING ALONG CONTOURS TO PREVENT EROSION. TECHNIQUES SUCH AS SURFACE ROUGHENING AND/OR DUST SUPPRESSION WITH WATER TRUCKS SHALL BE USED TO MINIMIZE WIND EROSION.
- ALL TEMPORARY BMPS MUST BE REMOVED FROM THE CONSTRUCTIONS SITE AND PROPERLY DISPOSED OF ONCE FINAL STABILIZATION IS ACHIEVED, EXCEPT BMPS WITH SPECIFICATIONS THAT ALLOW THE BMP TO REMAIN IN PLACE (I.E. BIO-DEGRADABLE BMPS).
- UPON THE REQUEST TO CLOSE OUT GRADING, EROSION AND SEDIMENT CONTROL PERMIT, CONTRACTOR SHALL ENSURE THAT ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES, BOTH ON AND OFF SITE, WILL HAVE A UNIFORM VEGETATIVE COVER ESTABLISHED, WITH ACCEPTABLE PLANTS, AND WITH AN INDIVIDUAL PLANT DENSITY OF AT LEAST 70 PERCENT OF PRE-DISTURBANCE LEVELS, OR EQUIVALENT PERMANENT PHYSICAL EROSION REDUCTION METHODS.

1218 W. Ash, Suite A
Windsor, CO 80550
Phone: (970) 674-3300
Fax: (970) 674-3303



PREPARED FOR

WINDSOR DDA

301 WALNUT STREET
WINDSOR, CO 80550
PHONE: 970.674.2400

WINDSOR DDA GRAVEL PARKING LOT

GENERAL NOTES

DATE: 06/03/21

SCALE (H): N/A

SCALE (V): N/A

DESIGNED BY: SB

CHECKED BY: SB

**PRELIMINARY
NOT FOR CONSTRUCTION**

TOWN OF WINDSOR
DRAWING REVIEW

REVIEW IS FOR GENERAL COMPLIANCE WITH
TOWN STANDARDS. NO RESPONSIBILITY
IS ASSUMED FOR CORRECTNESS OF DESIGN.

DATE: _____ BY: _____
DEPUTY DIRECTOR OF ENGINEERING

PROJ. NO. 1467-22-100

2 OF 6

1218 W. Ash, Suite A
 Windsor, CO 80550
 Phone: (970) 674-3300
 Fax: (970) 674-3303



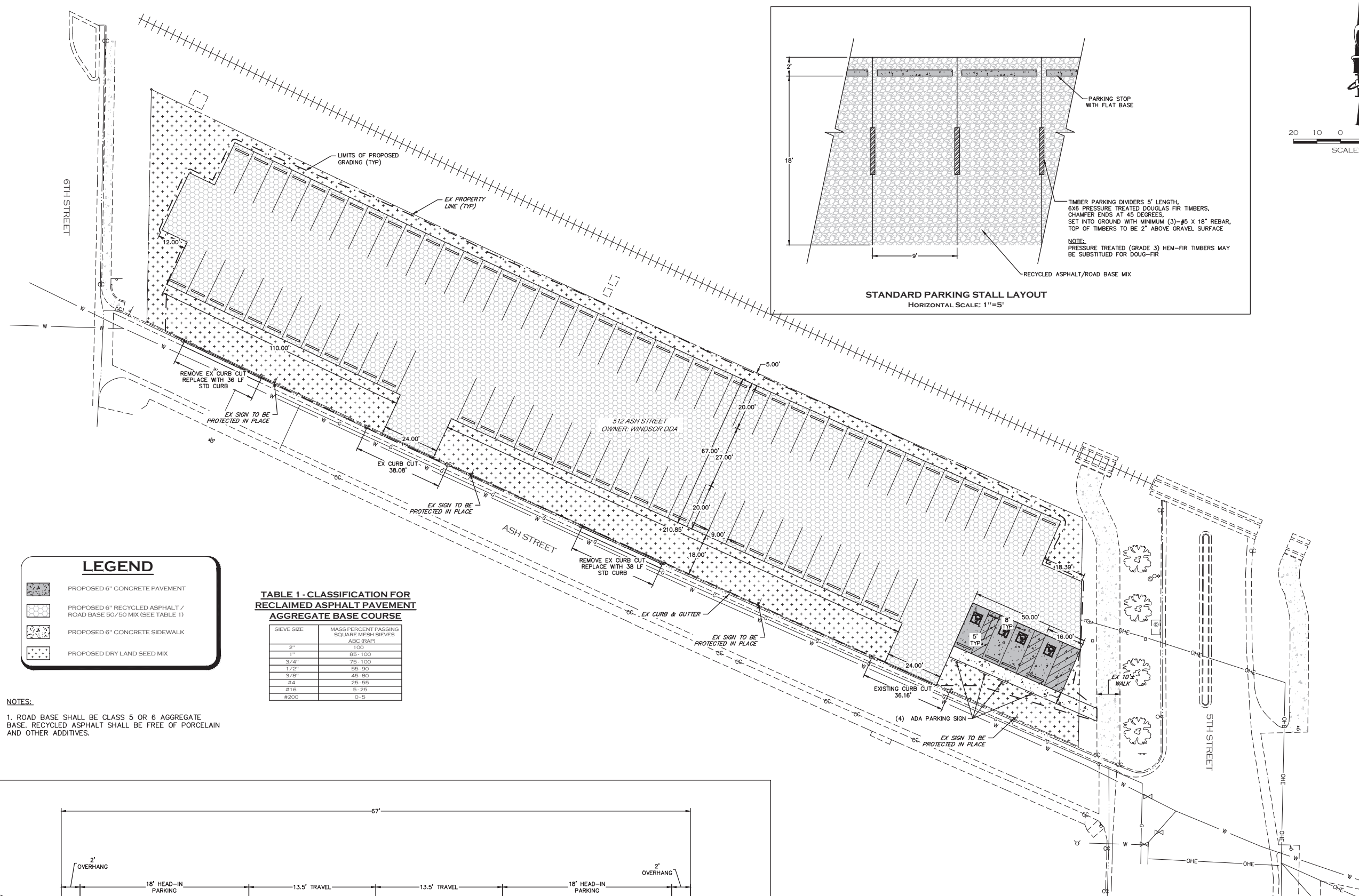
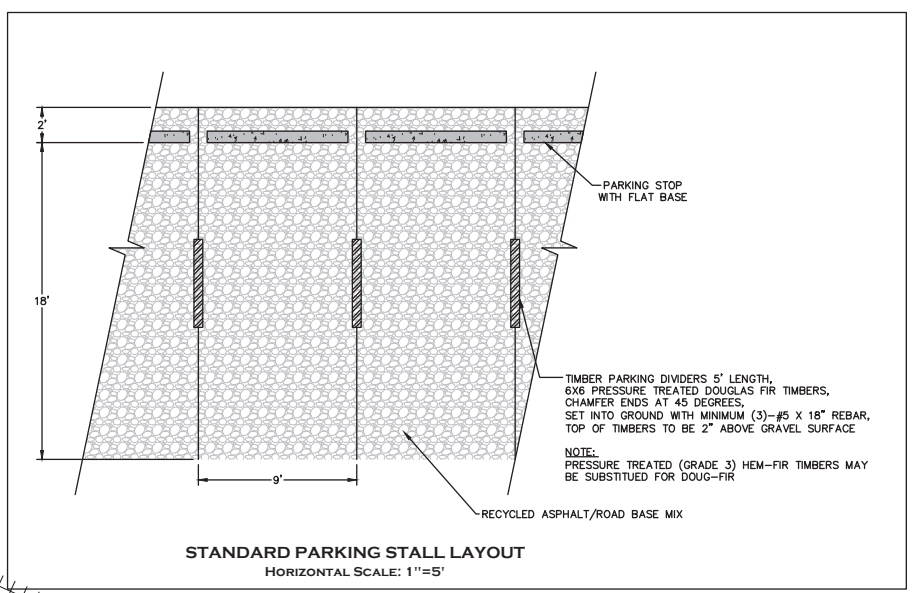
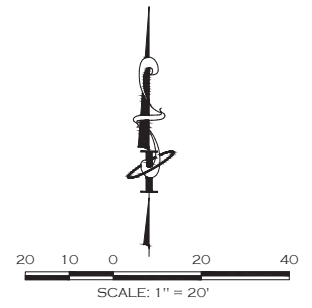
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 301 WALNUT STREET
 WINDSOR, CO 80550
 PHONE: 970.674.2400

WINDSOR DDA GRAVEL PARKING LOT

HORIZONTAL CONTROL PLAN

DATE: 06/03/21
 SCALE (H): 1"=20'
 SCALE (V): N/A
 DESIGNED BY: SB
 CHECKED BY: SB

PROJ. NO. 1467-22-1-00



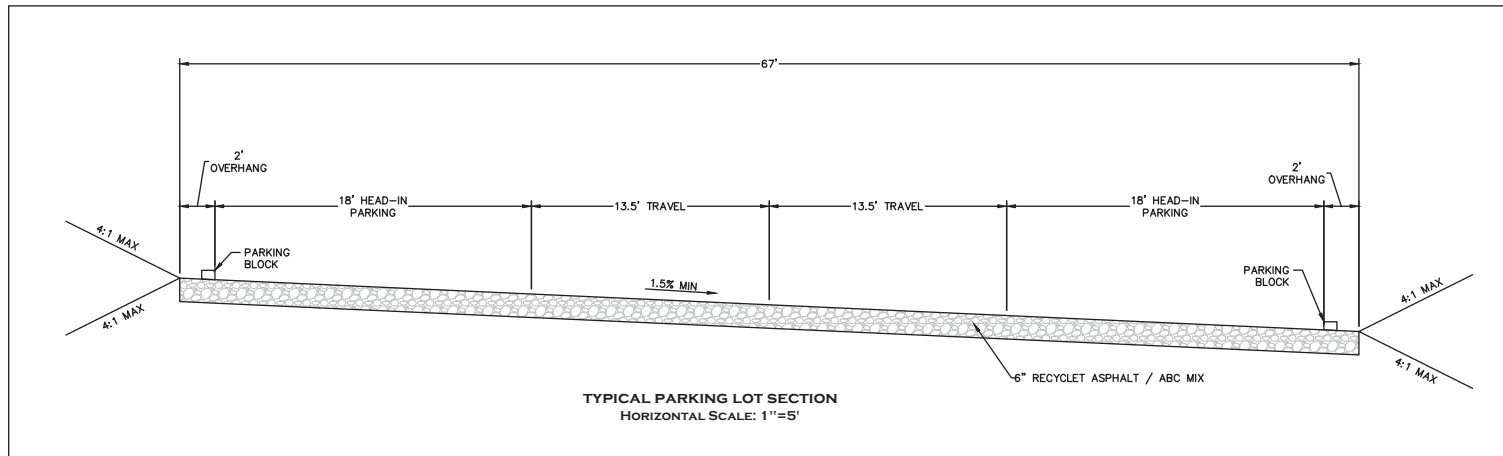
LEGEND

- PROPOSED 6" CONCRETE PAVEMENT
- PROPOSED 6" RECYCLED ASPHALT / ROAD BASE 50/50 MIX (SEE TABLE 1)
- PROPOSED 6" CONCRETE SIDEWALK
- PROPOSED DRY LAND SEED MIX

TABLE 1 - CLASSIFICATION FOR RECLAIMED ASPHALT PAVEMENT AGGREGATE BASE COURSE

SIEVE SIZE	MASS PERCENT PASSING SQUARE MESH SIEVES ABC (RAP)
2"	100
1"	85-100
3/4"	75-100
1/2"	55-90
3/8"	45-80
#4	25-55
#16	3-25
#200	0-5

NOTES:
 1. ROAD BASE SHALL BE CLASS 5 OR 6 AGGREGATE BASE. RECYCLED ASPHALT SHALL BE FREE OF PORCELAIN AND OTHER ADDITIVES.

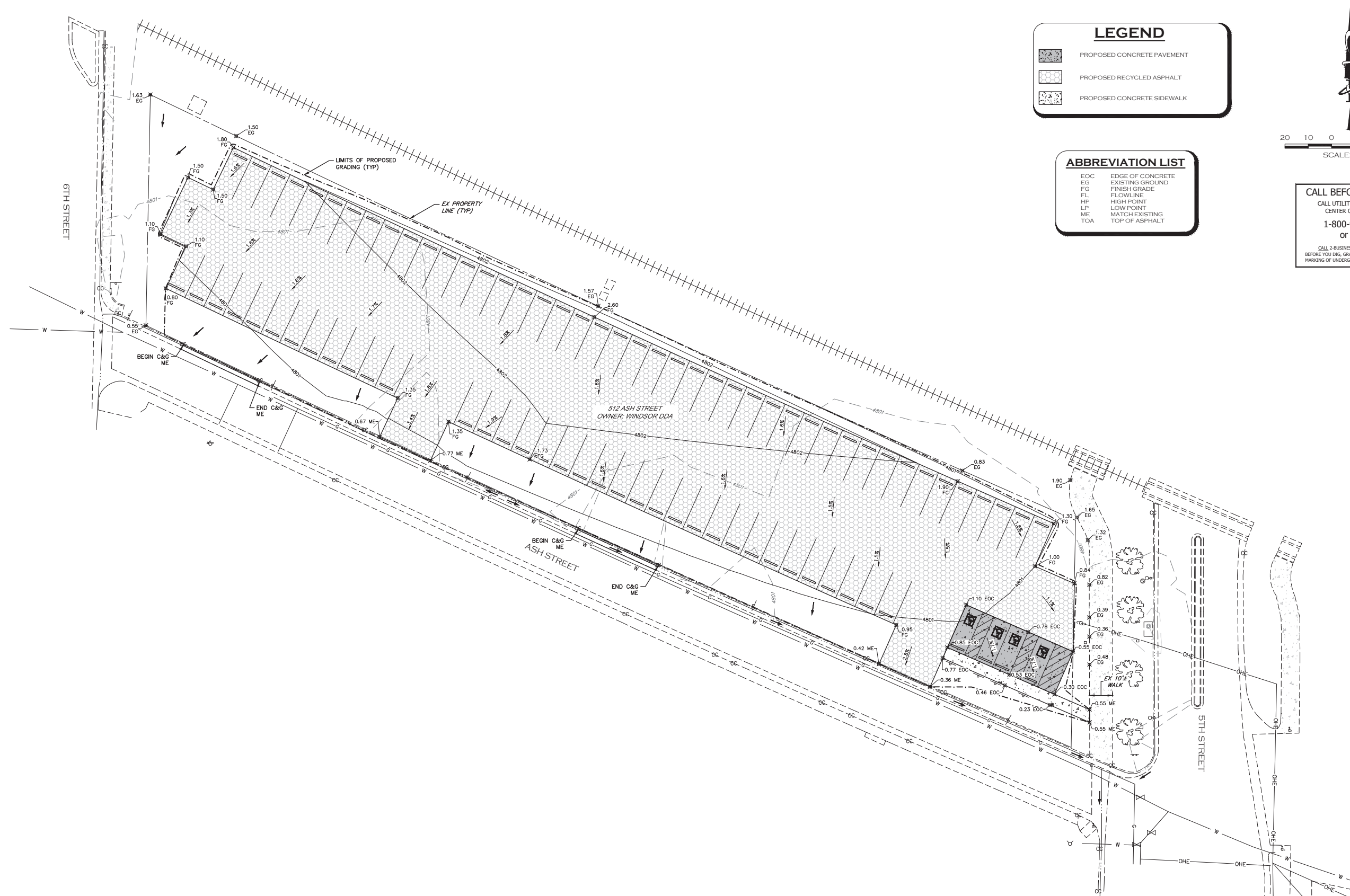


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 NOT FOR CONSTRUCTION

CALL BEFORE YOU DIG
 CALL UTILITY NOTIFICATION CENTER OF COLORADO
 1-800-922-1987 or 8-1-1
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

TOWN OF WINDSOR
 DRAWING REVIEW
 REVIEW IS FOR GENERAL COMPLIANCE WITH TOWN STANDARDS. NO RESPONSIBILITY IS ASSUMED FOR CORRECTNESS OF DESIGN.
 DATE: _____ BY: _____
 DEPUTY DIRECTOR OF ENGINEERING

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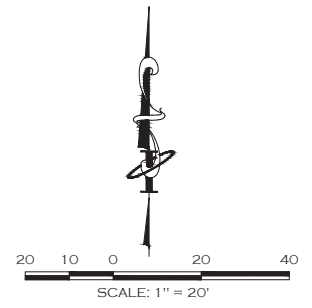


LEGEND

- PROPOSED CONCRETE PAVEMENT
- PROPOSED RECYCLED ASPHALT
- PROPOSED CONCRETE SIDEWALK

ABBREVIATION LIST

- EOC EDGE OF CONCRETE
- EG EXISTING GROUND
- FG FINISH GRADE
- FL FLOWLINE
- HP HIGH POINT
- LP LOW POINT
- ME MATCH EXISTING
- TOA TOP OF ASPHALT



CALL BEFORE YOU DIG
 CALL UTILITY NOTIFICATION
 CENTER OF COLORADO
 1-800-922-1987
 or 8-1-1
CALL 3-BUSINESS DAYS IN ADVANCE
 BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE
 MARKING OF UNDERGROUND MEMBER UTILITIES.

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 Windsor, CO 80550
 Phone: (970) 674-3300
 Fax: (970) 674-3303

PREPARED FOR
WINDSOR DDA
 301 WALNUT STREET
 WINDSOR, CO 80550
 PHONE: 970.674.2400

WINDSOR DDA GRAVEL PARKING LOT
GRADING PLAN

DATE: 06/03/21
 SCALE (H): 1"=20'
 SCALE (V): N/A
 DESIGNED BY: SB
 CHECKED BY: SB

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DATE: _____ BY: _____
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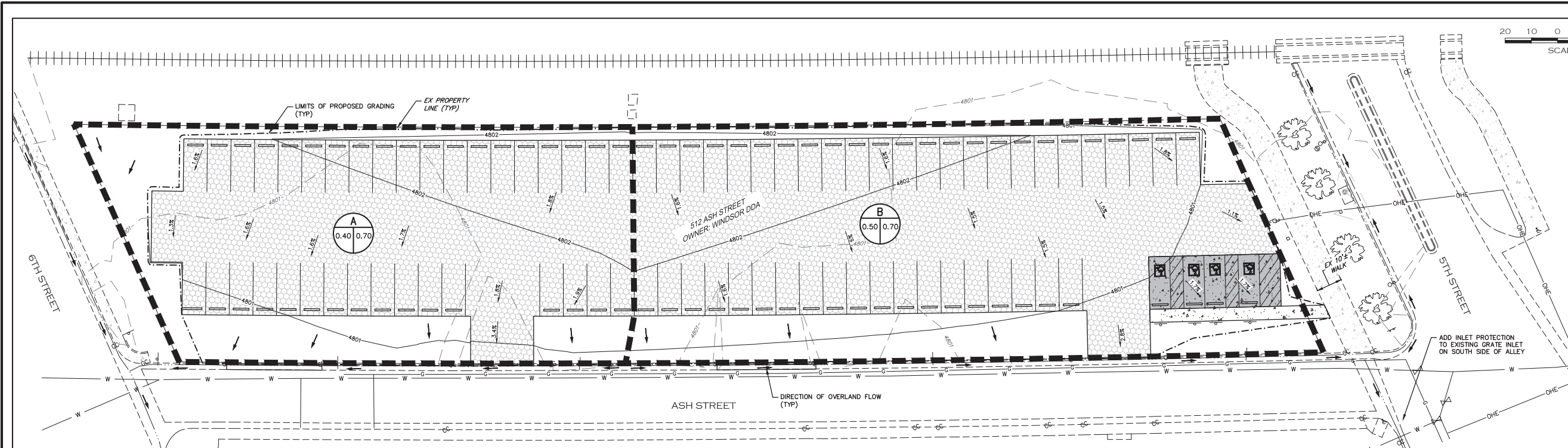
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WINDSOR, CO 80550
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WINDSOR DDA GRAVEL PARKING LOT

DRAINAGE & EROSION CONTROL PLAN

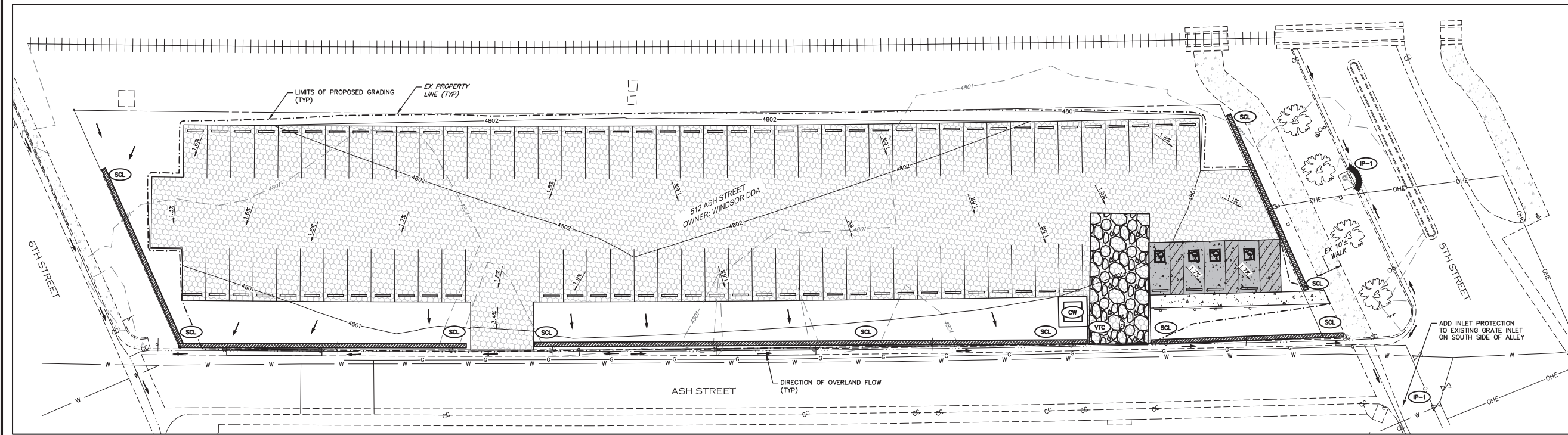
DATE: 06/03/21
SCALE (H): 1"=20'
SCALE (V): N/A
DESIGNED BY: SB
CHECKED BY: SB

PROJ. NO. 1467-22-1-00



DRAINAGE PLAN

SUBBASIN DESIGNATION	TOTAL AREA (ac.)	TOTAL AREA (sq.ft)	STREET AREA (sq.ft)	WALK AREA (sq.ft)	ROOF AREA (sq.ft)	GRAVEL AREA (sq.ft)	LAWN AREA (sq.ft)	% Impervious	MINOR COEFF. (C ₁)	MINOR COEFF. (C ₂)	MAJOR COEFF. (C ₁₀₀)
Historic	0.90	39,274	0	841	5,335	24,825	8,273	40%	0.38	0.50	0.63
A	0.40	17,353	0	0	0	12,267	5,086	28%	0.28	0.41	0.57
B	0.50	21,921	0	1,339	0	15,182	5,400	34%	0.33	0.45	0.59
Total	0.90	39,274	0	1,339	0	27,449	10,486	31%	0.31	0.43	0.58



EROSION CONTROL PLAN

CALL BEFORE YOU DIG
CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
or 8-1-1
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE
MARKING OF UNDERGROUND MEMBER UTILITIES.

- NOTES:**
- SITE DISTURBANCE IS APPROXIMATELY 0.90 ACRES AND NO CDPEH STORMWATER DISCHARGE PERMIT, OR SWMP IS REQUIRED. EROSION CONTROL MEASURES SHOWN WILL ADEQUATELY PROTECT THE DOWNSTREAM STORM SYSTEM.
 - CONTRACTOR MAY SWITCH OUT SEDIMENT CONTROL LOGS FOR SILT FENCE IF DESIRED.

LEGEND

- FLOW DIRECTION ARROW
- VEHICLE TRACKING CONTROL PAD
- CONCRETE WASHOUT
- INLET PROTECTION
- SEDIMENT CONTROL LOG

**PRELIMINARY
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**TOWN OF WINDSOR
DRAWING REVIEW**

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DATE: _____ BY: _____
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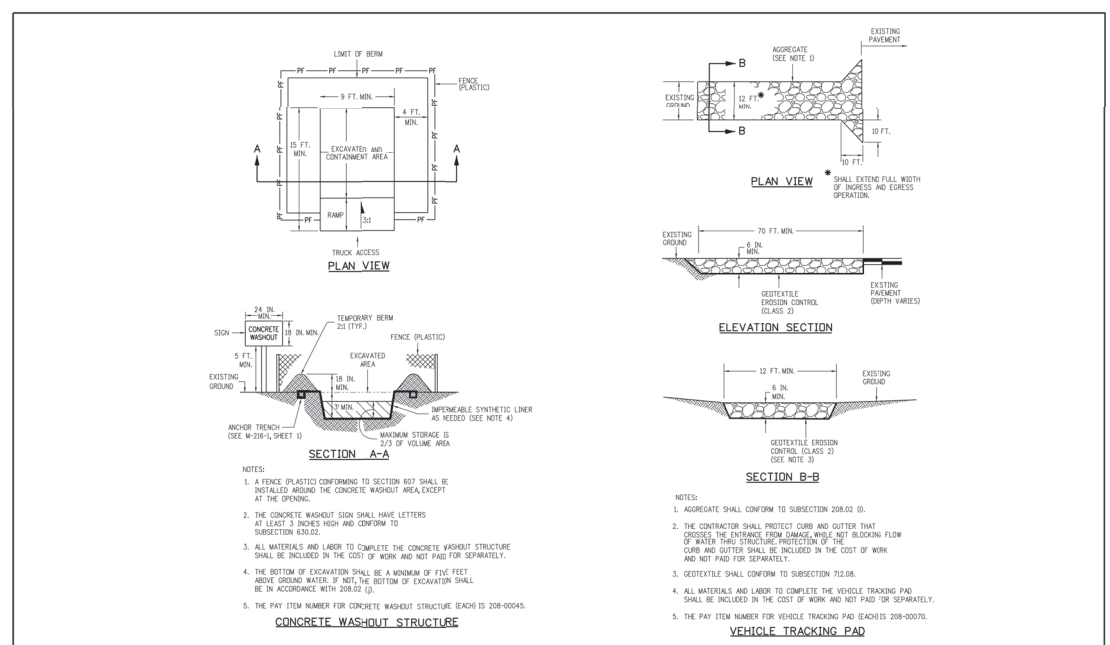
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301 WALNUT STREET
WINDSOR, CO 80550
PHONE: 970.674.2400

WINDSOR DDA GRAVEL PARKING LOT

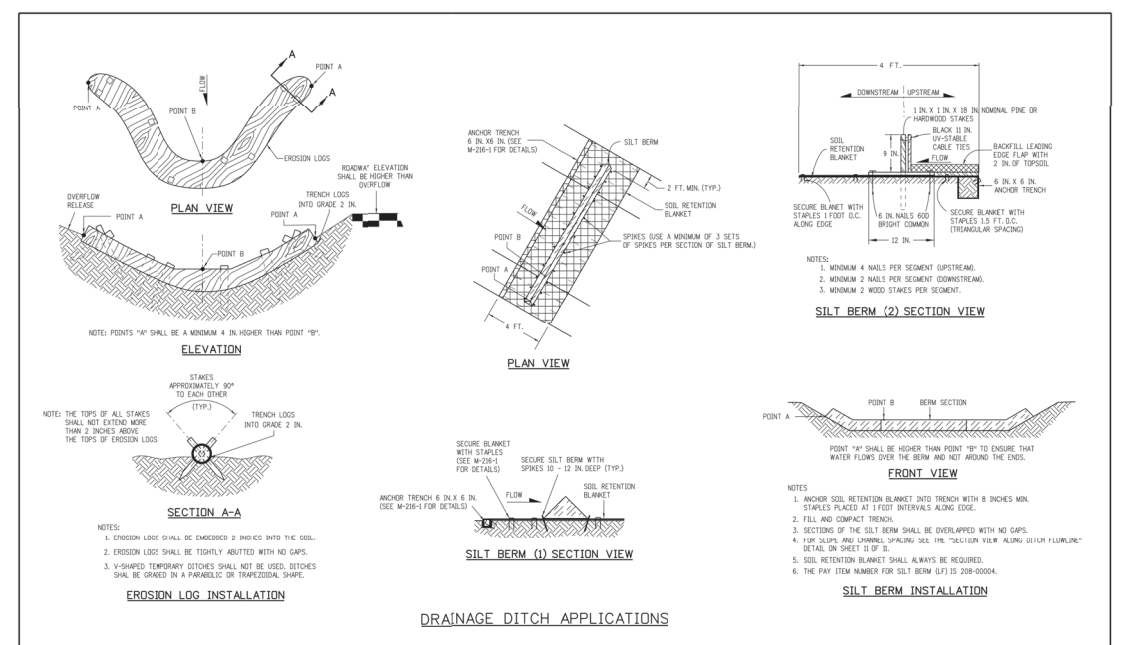
CONSTRUCTION DETAILS

DATE: 06/03/21	SCALE (H): N/A	SCALE (V): N/A	DESIGNED BY: SB	CHECKED BY: SB
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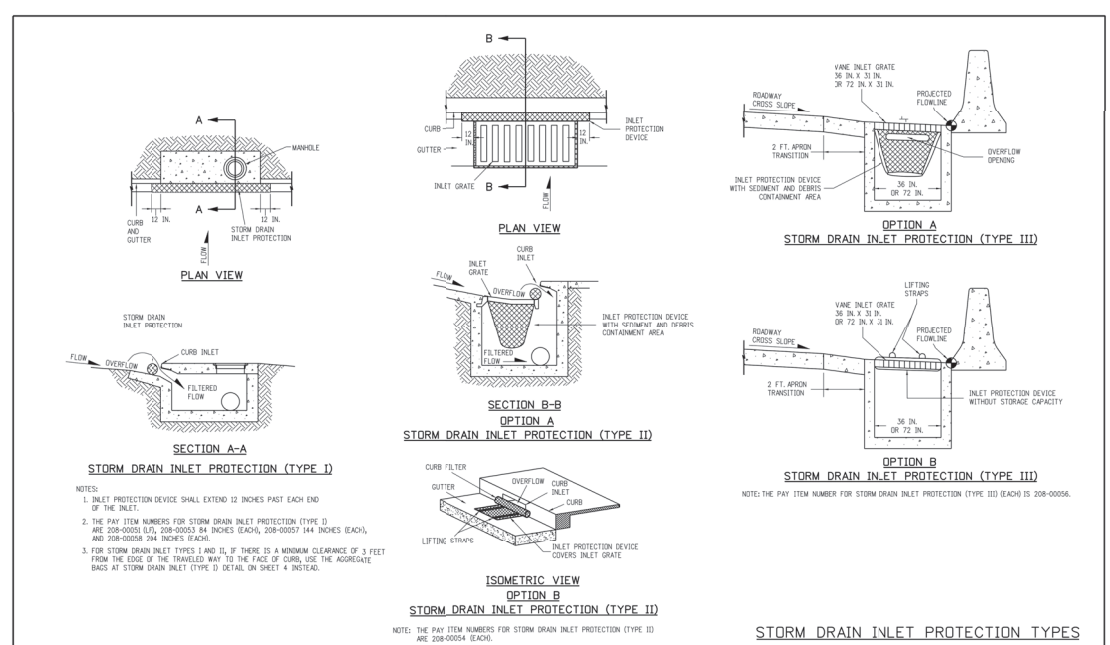
PROJ. NO. 1467-22-100



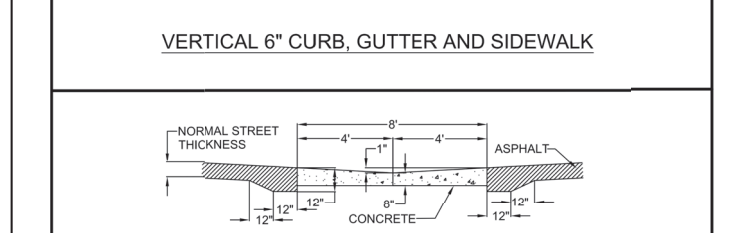
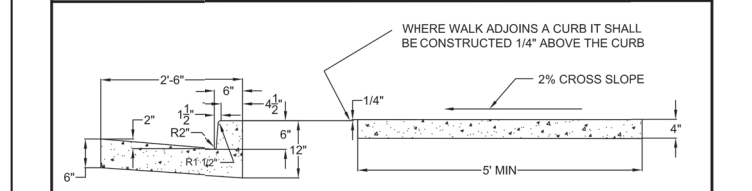
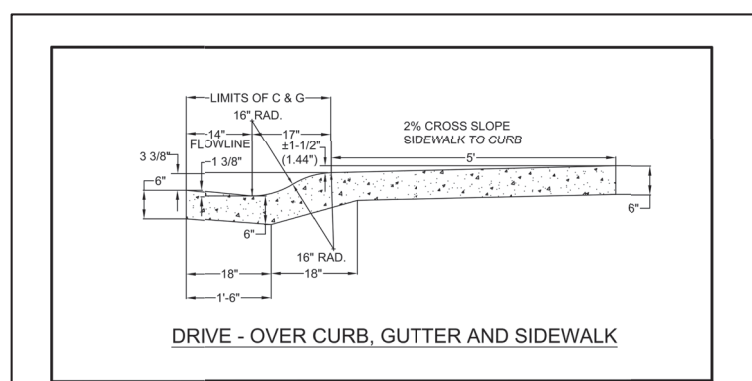
Computer File Information	Sheet Revisions	Colorado Department of Transportation	TEMPORARY EROSION CONTROL	STANDARD PLAN NO. M-208-1
Creation Date: 07/31/19 Designer: JBK Lead Modification Date: 07/31/19 Detailer: L.T.A. CAD Ver: MicroStation V8	Comments	2829 West Howard Place COOT HQ, 3rd Floor Denver, CO 80204 Phone: 303-757-9021 FAX: 303-757-9868	Issued by the Project Development Branch July 31, 2019	Project Sheet Number:



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TOWN OF WINDSOR COLORADO	CURB, GUTTER, SIDEWALK & CROSSSPAN DETAILS	APPROVED: DATE: 11-24-20 DRAWN BY: SJP	SCALE: N.T.S.	SHEET 1 OF 1
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PRELIMINARY
NOT FOR CONSTRUCTION

TOWN OF WINDSOR
DRAWING REVIEW

REVIEW IS FOR GENERAL COMPLIANCE WITH TOWN STANDARDS. NO RESPONSIBILITY IS ASSUMED FOR CORRECTNESS OF DESIGN.

DATE: _____ BY: _____
DEPUTY DIRECTOR OF ENGINEERING

C:\Users\jwburnham\Documents\PROJECTS\1467-22-100\EROSION\DWG\WINDSOR DDA GRAVEL PARKING LOT-22-100-01.DWG, 4/7/2020 11:41 AM

ATTACHMENT 2**Windsor DDA Gravel Parking Lot - Preliminary Cost Estimate
512 Ash Street Windsor, CO
July 1, 2021**

Bid Item	Contract Item	Unit	Estimated Quantities	Unit Price	Total Cost
1	Construction Surveying	LS	1	\$4,000.00	\$ 4,000.00
2	Mobilization	LS	1	\$10,000.00	\$ 10,000.00
3	Construction Traffic Control	LS	1	\$3,000.00	\$ 3,000.00
4	Clearing and Grubbing	LS	1	\$5,000.00	\$ 5,000.00
5	Remove Existing Curb Cut (Concrete)	LF	74	\$10.00	\$ 740.00
6	Earthwork (Import) (CIP)	CY	330	\$25.00	\$ 8,250.00
7	Concrete Washout Structure	EA	1	\$1,250.00	\$ 1,250.00
8	Vehicle Tracking Pad	EA	1	\$2,000.00	\$ 2,000.00
9	Sediment Control Log (Type 1)(12 Inch)	LF	540	\$5.00	\$ 2,700.00
10	Storm Drain Inlet Protection	EA	2	\$250.00	\$ 500.00
11	ABC/Recycled AC Mix (6 Inch)	SY	3050	\$20.00	\$ 61,000.00
12	Concrete Pavement (6 Inch)	SY	149	\$60.00	\$ 8,940.00
13	Concrete Curb & Gutter	LF	74	\$30.00	\$ 2,220.00
14	ADA Parking Signs	EA	4	\$400.00	\$ 1,600.00
15	Pavement Marking Paint	GAL	1	\$500.00	\$ 500.00
16	Wheel Stops	EA	82	\$40.00	\$ 3,280.00
17	Timber Parking Stall Dividers	EA	78	\$150.00	\$ 11,700.00
18	Native Seed Mix	SF	10545	\$0.15	\$ 1,581.75

Contingency (15%) \$ 19,239.26
Total Cost Estimate \$ 147,501.01

Executive Director Report

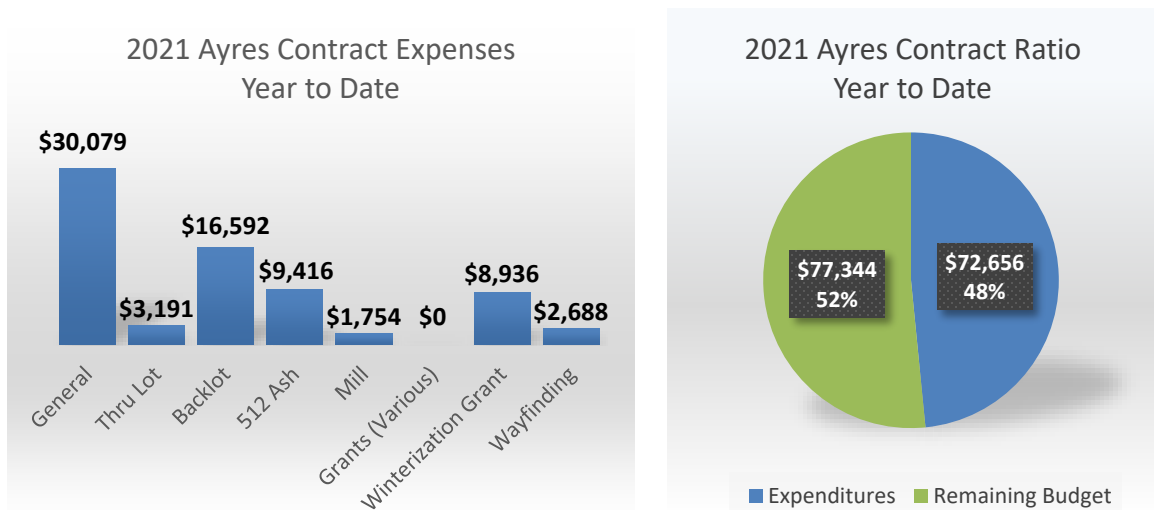
Date: July 21, 2021
To: Downtown Development Authority Board of Directors
From: Matt Ashby, DDA Executive Director
 Josh Olhava, DDA Project Manager
Re: June-July Report

Meeting Summary:

The following meetings occurred between June 14 – July 16, including:

- June Board of Directors Meeting – 6/25
- July Joint DDA, Town Board, Tribe Meeting – 7/15
- Quarterly DDA Workplan Review – 7/7
- Matt/Shane Weekly Meeting – 6/17, 6/24, 7/1, 7/8, 7/15
- DDA Weekly Call – 6/18, 7/2, 7/9, 7/16
- Tribe Bi-Weekly Check In – 6/15, 6/29, 7,13
- Wayfinding Meeting – 6/16, 7/8
- Thru Lot Design Update – 6/21, 7/12
- CDOT Meeting (ROW Special Use Permits) – 7/13
- Historic Preservation Meeting w/ Town Staff – 6/16
- Windsor Backlot Meeting – 6/23
- 512 Ash Street Consultant Meeting – 6/30
- Clearview on Business – 6/16

Ayres Billing Breakdown Year To Date (As of 7/16/21):



****Total Expenditures: \$72,656 of \$150,000 = 48% of Budget with 54% of Year Completed**

Anticipated Workload July-August:

- Thru Lot Site Plan – Finalize Site Plan, Issue Bid
- Tribe Development – Work on a new ENA with a 120-day timeframe from 4th Street and the Backlots, according to direction given during the joint July 15th Executive Session.
- Wayfinding – Complete Construction Docs w/ Main Street Assistance
- Façade Improvement – Property Owner Info. Meeting
- Marketing – Initiate Small Business Saturday Strategy
- 512 Ash Street next steps, per Board direction

Current Initiatives:

Mill – The Entertainment District Feasibility Study is complete. Staff have been working with the Town on finalizing the process for payment of the TIF incentive to Blue Ocean on the Mill. We still need a recorded Façade Easement before the DDA's portion of the annual payment can be released.

Backlots –

Redevelopment: Staff will draft a new ENA with Tribe to outline the boards expectations (as directed during the July 15th Executive Session). This includes necessary deliverables over the next 120 days. Biweekly working group meetings will continue, with a larger group meeting later. Overall, the board members present were supportive of the vision and goals presented by Tribe. Design and site-specific details will continue to be fleshed out as Tribe works on detailed concepts and studies the overall development impacts.

512 Ash: Staff received the Town's site plan review comments and an updated construction cost estimate from our engineering consultant Interwest. A separate agenda item with memorandum is included in the Board's packet for further review and to provide staff with direction on next steps.

Alley Design/Thru Lot/Undergrounding:

Thru Lot:

1. Town review comments have been received and Ditesco is revising to address their comments on the site plan.
 - a. Hoping for final Town approval by end of July.
2. Ditesco is are working with Lumen (Century Link) to underground the overhead lines and Xcel to provide a power feed for our new panel.
3. Ditesco has updated the Bid Documents/Agreement forms and they are in for legal review. Working towards an advertisement date of 8/2/21.
4. Need approval from the Board for the remainder of the budget at a special board meeting in August. This will need to include approval of the following (with approx. values):
 - a. Permit fees (water tap) (\$14k)
 - b. Construction Management (\$25k)
 - c. Materials Testing (Concrete, asphalt, soils) (\$5k)

- d. Construction contract (~\$280k)
 - e. Owner's construction contingency (\$35k)
5. Ehrlich Agreement – Staff is working to address title document questions and clarifying documentation prior to execution.

CDOT – Revitalizing Main Street Grant Opportunity - \$2 Million:

Decisions are anticipated in August or September.

Parking / Crosswalk / Plantings

The consultant for the Parking Study provided the Technical Committee with an update in early May and an update to Town Board in June. On Monday July 19th, the TAC met to outline the remainder of the schedule, outreach efforts and goals.

Wayfinding Project

Consolidated design shown to the right. Staff met with the consultants earlier this month to review and discuss the initial design and placement. Once revisions are received, staff will forward to the Town and DDA Board for their review. Staff met with CDOT to discuss their requirements and timeframes for review.



Business Engagement

Streetscape Grant (CDOT #1 - \$50,000):

Staff are also working to consolidate our reimbursement request from CDOT. Furniture was received and placed along Main Street in front of The Border restaurant. Site furnishing for the Thru Lot are anticipated to be shipped this month and will be stored until construction commences on the property.

Virtual Shopping (CDOT #2 - \$5,000): – The reimbursement request has been submitted to CDOT. We are awaiting payment.

Winterization Grant: (CDOT #3 - \$50,000): We have sent in a request to CDOT for payment of \$50,000 and will be coordinating with the Town to finalize the amount of funds that came from the Cares Act vs the CDOT Grant.

Façade Improvement Program

408 Main – Work is complete, and the business is up and running. Staff are working with the owner to finalize reimbursement expenses to be able to process the façade grant.

419 Main – Work is currently underway.

Main Street

Staff completed the required quarterly report.

DDA General

State Façade and Energy Grant - Staff received a request to track hours separately for pursuing and, if awarded, implementing the new grant opportunity. This is a new project item that would start this month (once the grant is released) and span into Summer 2022. The grant may have the potential to cover a portion of administrative costs. Additional information will be provided to the Board once the grant requirements and details are published.

Action Checklist Review:

New Items –

- **JO:** Request polo shirts from Board members. **(Completed)**
- **MA:** Communicate with Ashley regarding the NDA for Tribe. **(Completed)**

Carryover –

None.