



HISTORIC PRESERVATION COMMISSION REGULAR MEETING

July 10, 2024 - 5:45 PM

1st Floor Conference Room, 301 Walnut Street, Windsor, CO 80550

AGENDA

A. CALL TO ORDER

1. Roll Call
2. Review of Agenda by the Board and Addition of Items of New Business to the Agenda for Consideration
3. Public Invited to be Heard

B. CONSENT CALENDAR

1. Review and approval of the June 12, 2024 Regular Meeting Minutes

C. BOARD ACTION

D. DISCUSSION ITEMS

1. Review and discuss current Certificates of Alterations (COA) for the Dickey and Eaton Houses
- L. Browarny, Culture Supervisor
2. Discuss Preservation Plan Action Items and Implementation Strategies - Continued from June 12, 2024 meeting.
3. Public Outreach at July 27, 2024 Farmer's Market - Boardwalk Park
4. Review Future Meetings Agenda

E. COMMUNICATIONS

1. Communications from the Historic Preservation Commission
2. Communications from Town Board Liaison
3. Communications from Staff

F. ADJOURN

The Town of Windsor will make reasonable accommodations for access to Town services, programs, and activities and will make special communication arrangements for persons with disabilities. Please call (970) 674-2400 by noon on the Thursday prior to the meeting to make arrangements.



MEMORANDUM

Date: July 10, 2024
To: Historic Preservation Commission
From: Kimberly Lambrecht, Senior Planner
Re: Review and approval of the June 12, 2024 Regular Meeting Minutes
Item #: B.1.

Background / Discussion:

Please see the attached June 12, 2024 Regular Meeting Minutes, for review and approval.

Financial Impact:

Relationship to Strategic Plan:

Recommendation:

CC:

Scott Ballstadt, Director of Planning

Attachments:

1. 06.12.24 Historic Preservation Commission Regular Meeting Minutes - DRAFT



Historic Preservation Commission Regular Meeting

June 12, 2024 - 5:45 PM
1st Floor Conference Room,
301 Walnut Street, Windsor, CO 80550

MINUTES

A. CALL TO ORDER

COMMISSION MEMBER K. JABS CALLED THE MEETING TO ORDER AT 05:48 PM.

1. Roll Call

Present: Kris Jabs
Jean Zuckweiler, Alternate
Dave Herzer, Alternate

Absent: Melanie Starck, Chairperson
ToniRae Andres, Vice Chairperson
Ruth Brunner
Rachel Kline

Also Present: Ron Steinbach, Town Board Liaison
Kimberly Lambrecht, Staff Liaison
Katrina Haley, Administrative Analyst
Katie Fromm, Museum Intern
Emma Kaiser, Museum Intern

2. Review of Agenda by the Board and Addition of Items of New Business to the Agenda for Consideration

Commission members took a moment to review the Agenda. At this time, formal note was made that as Chairperson M. Starch, and Vice Chairperson T. Andres were both absent from this meeting, Commission member K. Jabs would step in to the role of Acting Chairperson for the June 12, 2024 Historic Preservation Commission Regular Meeting.

Acting Chairperson K. Jabs also invited alternate members J. Zuckweiler and D. Herzer to participate as voting members for the purposes of this meeting, to which both Commission members J. Zuckweiler and D. Herzer accepted.

Additionally, at the recommendation of Town staff and Acting Chairperson K. Jabs, as the Chairperson and Vice Chairperson were not present at this meeting, K. Jabs recommended continuing Discussion Items D1 and D3 to the July 10, 2024 Regular Meeting.

Historic Preservation Commissioner Zuckweiler moved to Approve the Review of Agenda by the Board and Addition of Items of New Business to the Agenda for Consideration, with the modification to continue Discussion Items D1 and D3 to the July 10, 2024 Regular Meeting; Commissioner Herzer seconded the motion. Roll call on the vote resulted as follows; Yeas - Kris Jabs, Jean Zuckweiler, Dave Herzer, None; Nays - None; Motion Passed.

3. Public Invited to be Heard

No public in attendance.

B. CONSENT CALENDAR

1. Review and approval for the May 8, 2024 Regular Meeting Minutes.

Please see the attached May 8, 2024 Regular Meeting Minutes, for review and approval. Commission members took a moment to review the 05.08.24 Historic Preservation Commission Regular Meeting Minutes. No modifications were requested.

Historic Pres moved to Approve the Review and Approval of the 05.08.24 Historic Preservation Commission Regular Meeting, Historic Preservation Commissioner Jabs seconded the motion. Roll call on the vote resulted as follows; Yeas - Kris Jabs, Jean Zuckweiler, Dave Herzer, None; Nays - None; Motion Passed.

C. BOARD ACTION

1. None

No applicable items.

D. DISCUSSION ITEMS

1. Discuss Preservation Plan Action Items and Implementation Strategies

This item was continued to the July 10, 2024 Regular Meeting.

2. Public Outreach at June 13, 2024 Summer Concert - Boardwalk Park

The Historic Preservation Commission has secured a table for the Thursday night June 13, 2024 Summer Concert (6:30 pm - 8:30 pm):

- Confirm Commissioners who plan on attending.
- Staff will set up booth.
- Commissioner arrival time?

Staff liaison K. Lambrecht reminded the Commission that the Commission has a table at the Summer Concert event tomorrow evening from 6:30pm - 8:30pm. Various informational materials and swag will be available to residents. Ms. Lambrecht encouraged all HPC members available to attend.

3. Review Future Meetings Agenda

Please see the attached Future Meetings Calendar, for review and comment. Also, review the list of Future Topics so those items can be edited in conjunction with the Action Item Matrix goals.

This item was continued to the July 10, 2024 Regular Meeting.

E. COMMUNICATIONS

1. Communications from the Historic Preservation Commission

Commission member J. Zuckweiler took a moment to thank staff for their efforts to support the Commission, especially in regard to the May Open House Event. Roughly 50 people were in attendance, and Commission members received very positive feedback regarding the event, and the speakers who accepted the designation plaques.

2. Communications from Town Board Liaison

Town Board Liaison R. Steinbach shared brief updates regarding Mayoral and Town Board election/appointment processes, which remain ongoing. Mr. Steinbach shared that Julie Cline will soon be sworn in as the Mayor of Windsor, and that interview/selection processes remain ongoing for remaining open Town Board seats. Brief discussion among Commission members ensued.

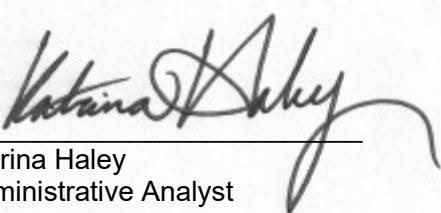
3. Communications from Staff

Staff Liaison K. Lambrecht shared that the certificates coinciding with the four properties designated at the May Historic Preservation Open House Event will need to be resigned by Mayor Julie Cline prior to posting. Discussion ensued regarding a potential correction to the date(s) listed on the Eaton House's certificate. Ms. Lambrecht to follow up with Town Museum staff to verify if any corrections are needed prior to Mayor Cline signing the new certificates. Ms. Lambrecht also shared that Laura Browarny, Recreation Supervisor, shared that the Town has been awarded a grant of \$250,000 from the State for the Dickey Farmhouse renovations. With the help of this grant, as well as another \$40,000 grant received from a different organization, renovations on both the Eaton House and Dickey Farmhouse will be completely covered.

F. ADJOURN

HISTORIC PRESERVATION COMMISSIONER HERZER MOVED TO ADJOURN, HISTORIC PRESERVATION COMMISSIONER ZUCKWEILER SECONDED THE MOTION. ROLL CALL ON THE VOTE RESULTED AS FOLLOWS; YEAS - KRIS JABS, JEAN ZUCKWEILER, DAVE HERZER; NAYS - NONE; MOTION PASSED.

UPON A MOTION DULY MADE COMMISSION MEMBER JABS ADJOURNED THE MEETING AT 06:17 PM.



Katrina Haley
Administrative Analyst



MEMORANDUM

Date: July 10, 2024
To: Historic Preservation Commission
From: Kimberly Lambrecht, Senior Planner
Re: Review and discuss current Certificates of Alterations (COA) for the Dickey and Eaton Houses - L. Browarny, Culture Supervisor
Item #: D.1.

Background / Discussion:

Ms. Laura Browarny, Culture Supervisor, submitted for, and received Certificates of Alteration (COAs) for the Dickey House and the Eaton House in 2015 and 2022, respectively. Both of those projects are now moving forward with the planned improvements, so Ms. Browarny would like to revisit the work proposed to be done, and update the Commission on those items that may have changed since the approval of the COAs.

See attached drawings sets for each of the projects.

Financial Impact:

Relationship to Strategic Plan:

Recommendation:

CC:

Scott Ballstadt, Director of Planning

Attachments:

1. 00Final CD SET 2022-02-14 - Dickey
2. 00Final Updated WINDSOR-EATON CD SET_2022-09-15

This architect acknowledges that the project which is the subject of this agreement is being funded in part by a grant from the Colorado Historical Society. The architect agrees that in the event of a conflict between the terms of this agreement and the terms of the grant, the terms of the grant shall prevail. The architect hereby grants to the Society, for all copyrightable material and/or information developed or produced under this contract, a non-exclusive, and irrevocable license to reproduce, submit, display, perform, prepare derivative works or otherwise use, and authorize others to reproduce, submit, display, perform, prepare derivative works, or otherwise use, the work or works to Society for its historical and/or educational purposes.

GRAPHIC SYMBOLS

Room name

101

ROOM NAME & NUMBER

101

DOOR NUMBER

A

WINDOW REFERENCE

1

COLUMN GRID

1

REVISION

1

KEYED NOTES

1

ACCESSIBLE SPECIFIC KEY NOTES

1

FLOOR PLAN

SCALE: 1/8" = 1'-0"

DRAWING TITLE

A3.1

BUILDING ELEVATION

A7.1

INTERIOR ELEVATION

1

DETAIL REFERENCE

1

SECTION

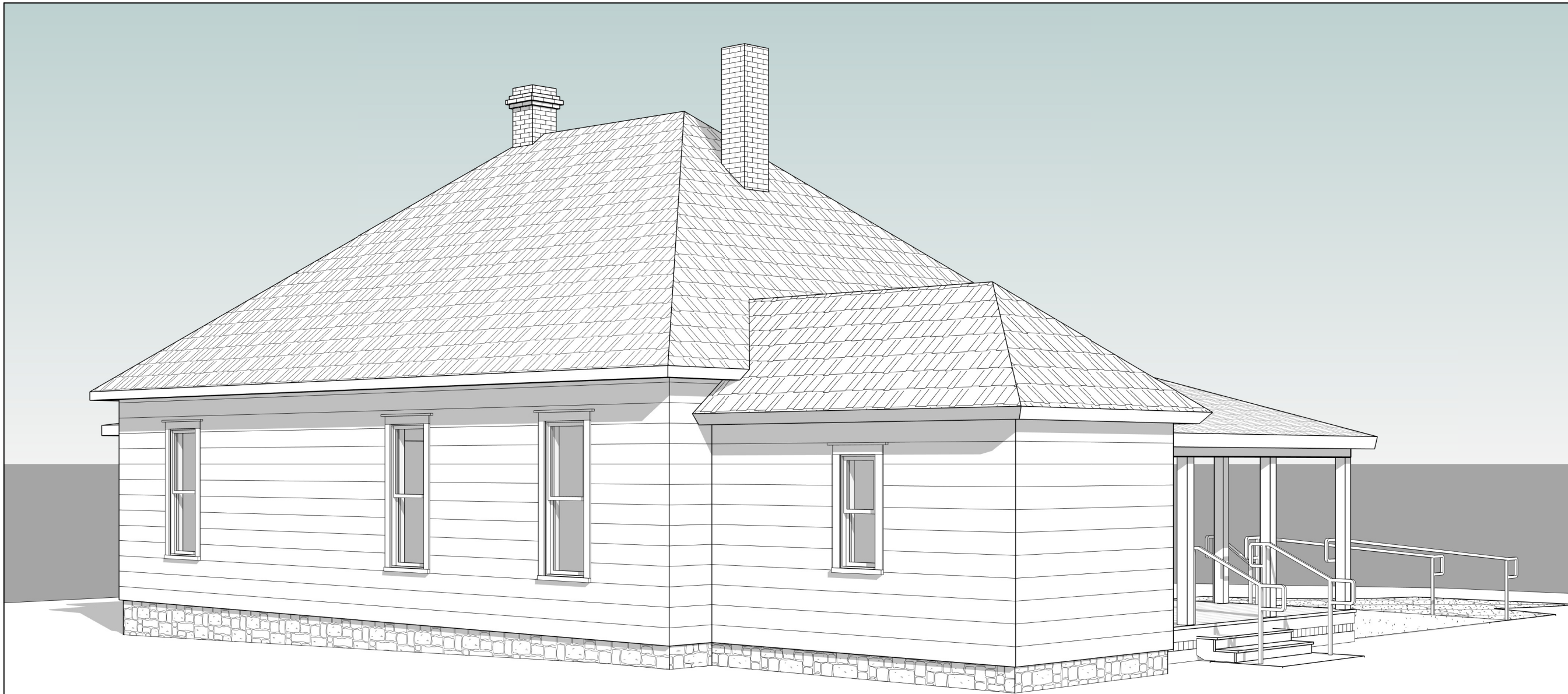
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LEVEL

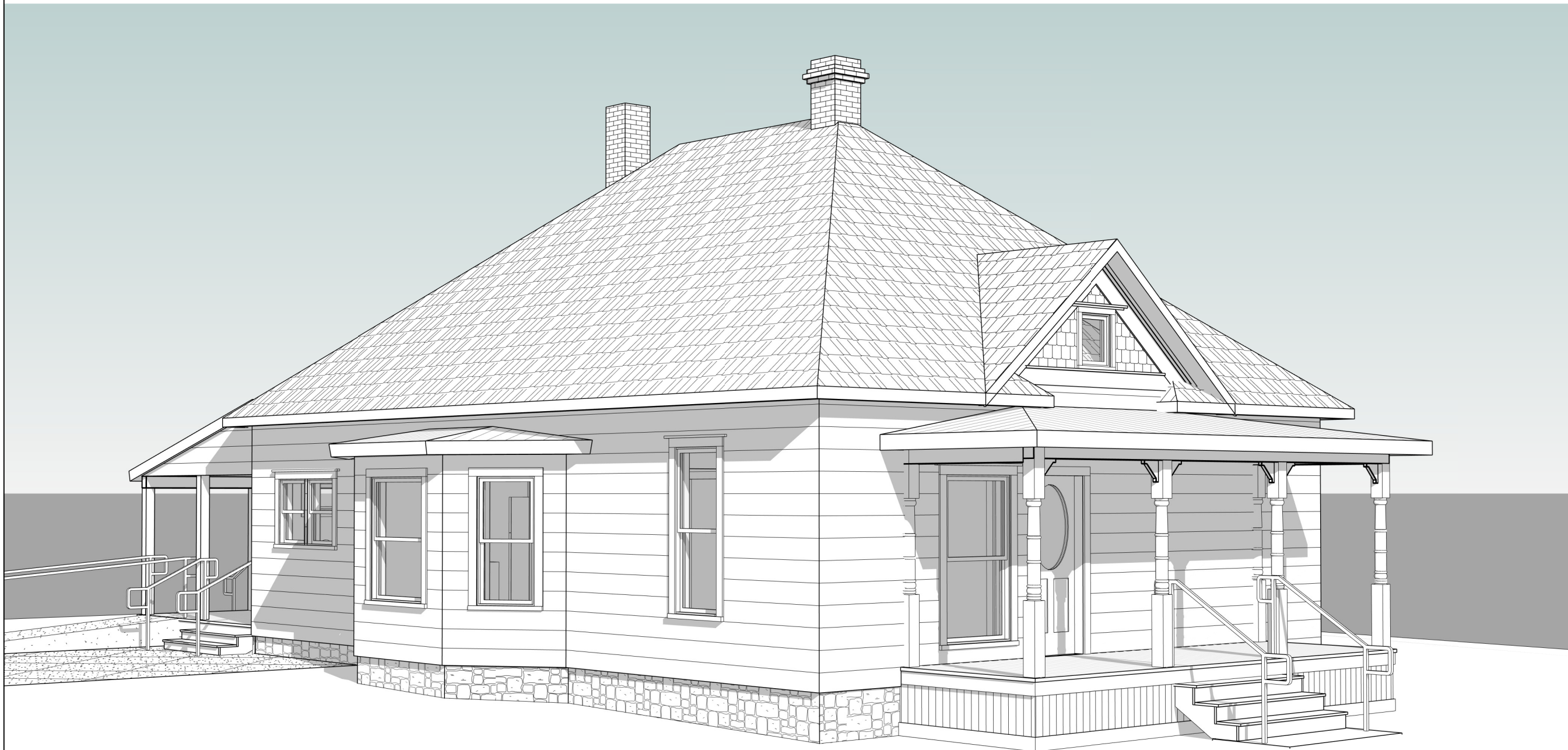
DICKEY FARMHOUSE & HALFWAY HOUSE

HISTORIC PRESERVATION

Windsor, Colorado



2 DICKEY FARMHOUSE PERSPECTIVE - FROM NW LOOKING SE



1 DICKEY FARMHOUSE PERSPECTIVE - FROM SE LOOKING NW

NOTES

FUNDING ACKNOWLEDGMENT:

THIS PROJECT WAS PAID FOR IN PART BY A HISTORY COLORADO STATE HISTORICAL FUND GRANT.

SHF PROJECT NUMBER: 2021-M2-057

GENERAL HISTORIC NOTE:

THIS BUILDING IS AN HISTORIC BUILDING. ALL RENOVATION HAS AS A PRIMARY GOAL THE MAXIMUM RETENTION OF THE ORIGINAL HISTORIC FABRIC. AN OBJECTIVE IS TO REPAIR ORIGINAL MATERIALS AS FEASIBLE RATHER THAN TO REPLACE THEM WITH NEW MATERIALS.

PROJECT DESCRIPTION:

REHABILITATION OF HISTORIC FARMHOUSE & OUTBUILDING

DICKEY FARMHOUSE

- REMOVAL OF NON-HISTORIC PORTIONS OF BUILDING
- REHABILITATION OF EXISTING BUILDING
- 1309 SF TOTAL + PORCHES
- 2 NEW H/C BATHS
- NEW KITCHEN

HALFWAY HOUSE

- REHABILITATION OF EXISTING BUILDING
- 260 SF TOTAL

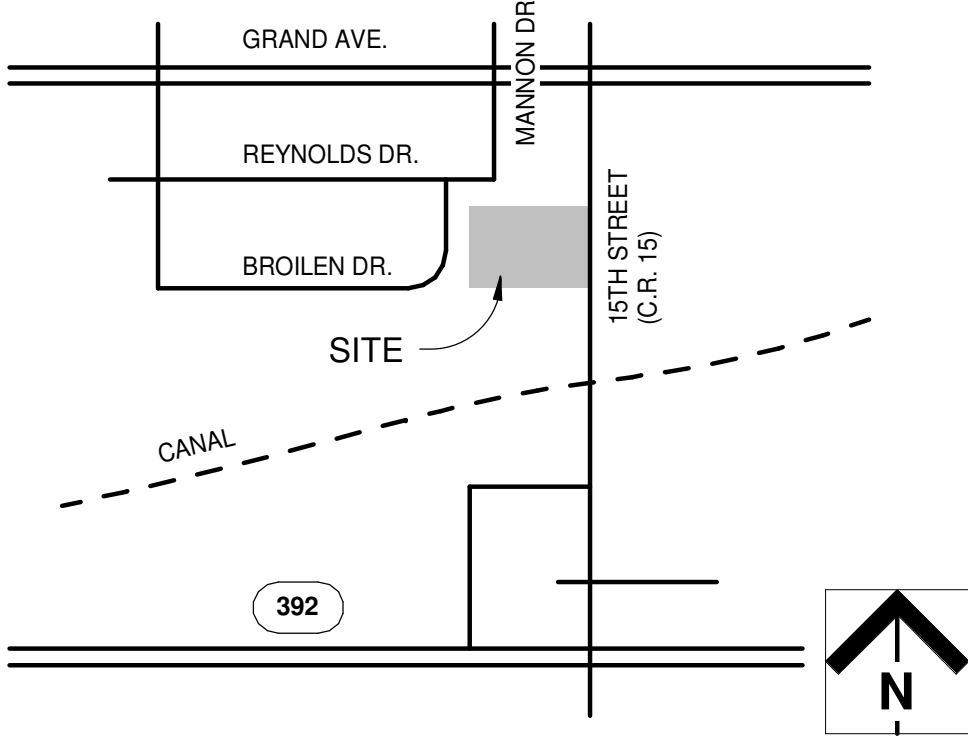
NOTE: MODIFICATIONS TO THESE PLANS WILL BE MADE AT THE TIME OF ACTUAL CONSTRUCTION TO REFLECT CHANGES IN CODES, MATERIALS AVAILABILITY, ENHANCEMENTS IN MEANS AND METHODS, AND OTHER CHANGES IN CIRCUMSTANCES.

APPLICABLE CODES

JURISDICTION: TOWN OF WINDSOR, COLORADO

- 2018 INTERNATIONAL BUILDING CODE (the "IBC") - with amendments
- 2018 INTERNATIONAL RESIDENTIAL CODE (the "IRC") - with amendments
- 2018 INTERNATIONAL EXISTING BUILDING CODE (the "IEBC") - with amendments
- 2018 INTERNATIONAL MECHANICAL CODE (the "IMC") - with amendments
- 2018 INTERNATIONAL PLUMBING CODE (the "IPC") - with amendments
- 2018 INTERNATIONAL FUEL GAS CODE (the "IFGC") - with amendments
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE (the "IECC") - with amendments
- 2018 INTERNATIONAL CODE COUNCIL PERFORMANCE CODE (the "ICCPC") - with amendments
- 2018 INTERNATIONAL SWIMMING POOL AND SPA CODE (the "ISPS") - with amendments

VICINITY MAP



PROJECT TEAM

OWNER:	---
ARCHITECT:	Brookie Architecture and Planning, Inc. Dean R. Brookie, A.I.A. 970 East Fourth Avenue Durango, Colorado 81301 P 970.247.1336 office@brookiearchitecture.com
STRUCTURAL ENGINEER:	Atkinson-Noland & Associates Consulting Engineers David Woodham, P.E., P: 303.444.3620
MECHANICAL ENGINEER:	Seward Mechanical Systems Paul Seward, PE 4175 Eldorado Springs Drive Boulder, Colorado 80303 303-926-9245 seward@steam-engine.com
GENERAL CONTRACTOR:	---

SHEET INDEX

A-0.1	COVER SHEET
A-2.1	DICKEY FLOOR PLANS, KEYNOTES
A-2.2	DICKEY FLOOR PLANS
A-4.1	DICKEY ELEVATIONS - EXISTING
A-4.2	DICKEY ELEVATIONS - PROPOSED, SCHEDULES
A-5.1	DICKEY SECTIONS, ROOF PLAN
H-1.0	HALFWAY HOUSE DRAWINGS
H-1.1	HALFWAY HOUSE DRAWINGS

BROOKIE
ARCHITECTURE
PLANNING INC

970 E. FOURTH AVE.
DURANGO, CO 81301
P-970.247.1336

office@brookiearchitecture.com

CD SET

Windsor - Dickey Farmhouse & Halfway House

33327 CR 15, Windsor, Colorado 80550

Revision Schedule

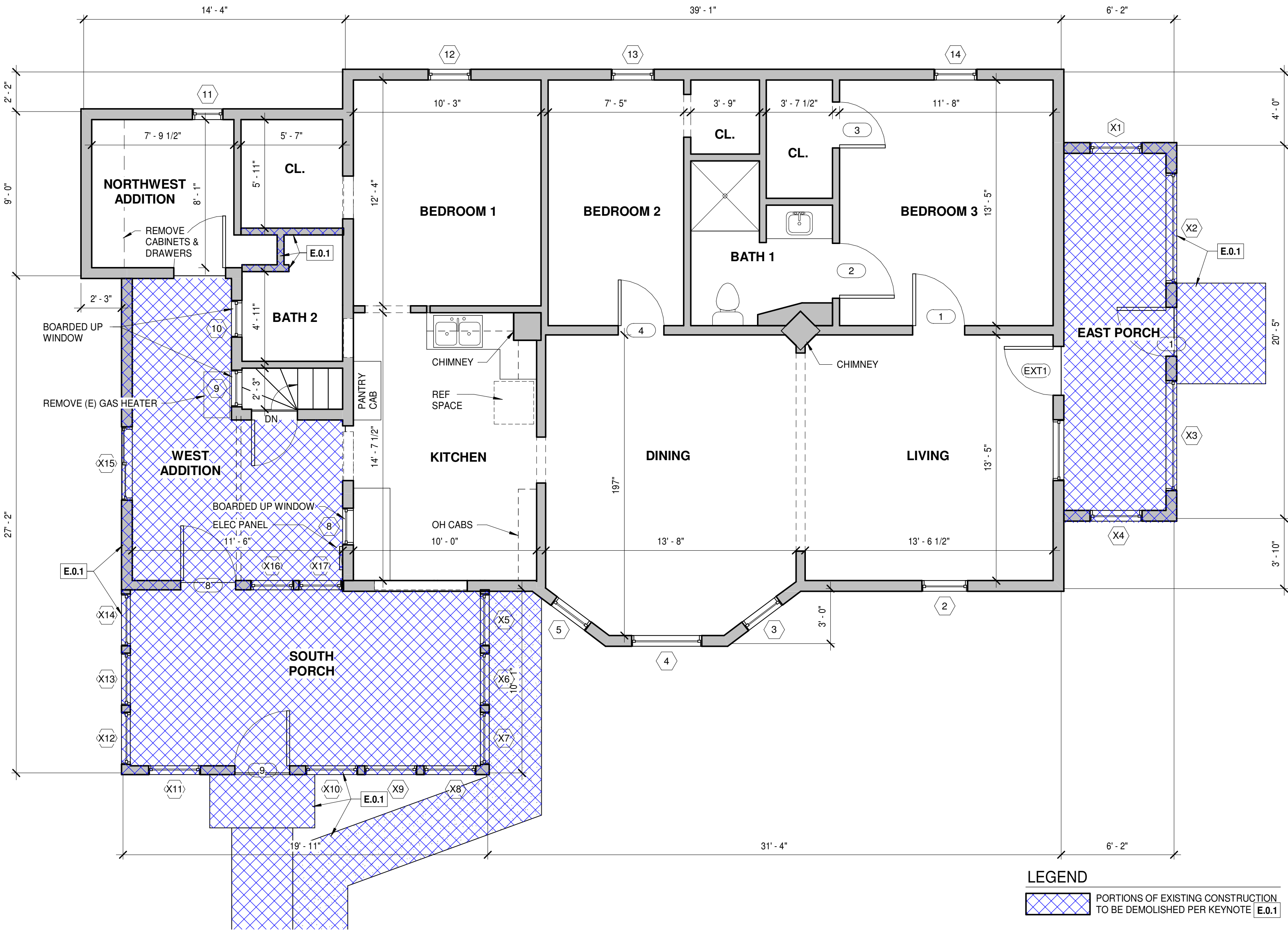
Number	Date

date: 2-14-2022
drawn: DOS
checked: DRB

COVER SHEET

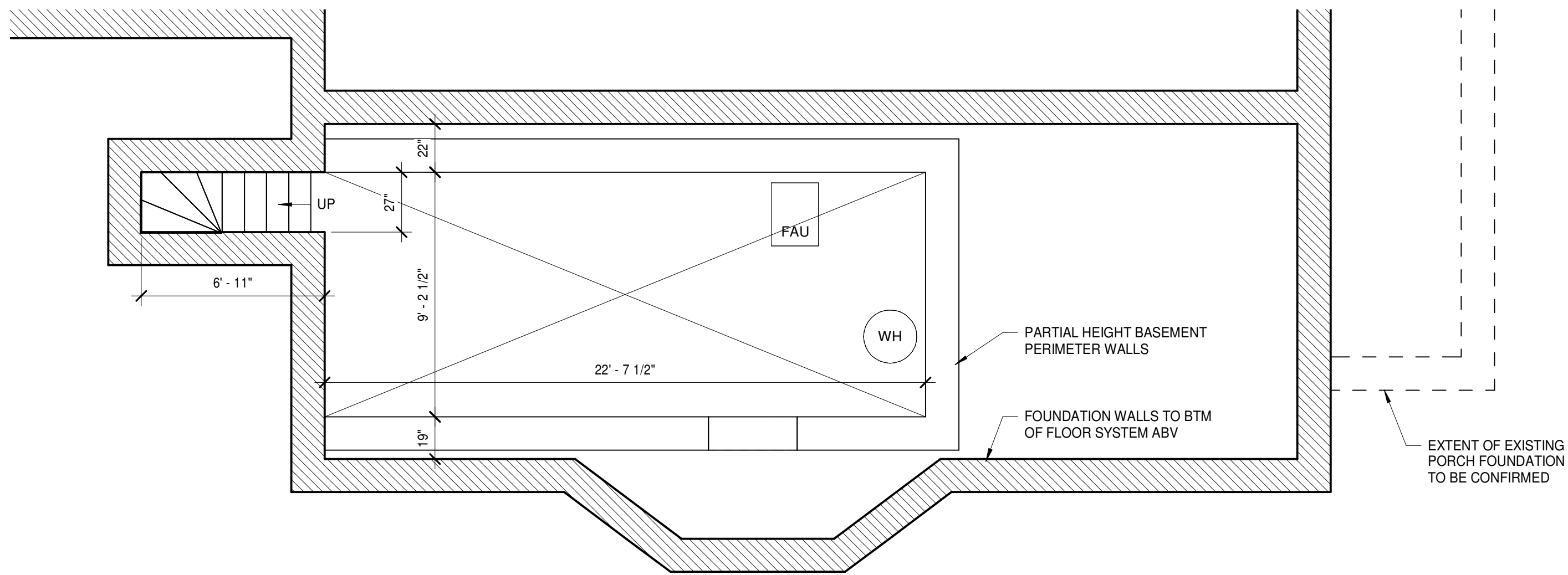
A-0.1

This architectural drawing is the property of the architect and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect. The architect agrees that, in the event of a conflict between the provisions of this agreement and the provisions of any other agreement, the provisions of this agreement shall prevail. The architect agrees that, in the event of a conflict between the provisions of this agreement and the provisions of any other agreement, the provisions of this agreement shall prevail. The architect agrees that, in the event of a conflict between the provisions of this agreement and the provisions of any other agreement, the provisions of this agreement shall prevail.



2 EXISTING / DEMO FLOOR PLAN

SCALE: 1/4" = 1'-0"



1 EXISTING BASEMENT PLAN

SCALE: 1/4" = 1'-0"

DICKEY FARMHOUSE KEYNOTES

See "Windsor Preservation Projects 2021: Dickey Farmhouse Treatments" for full list of treatments

Building Exterior

E.0.1 Demolition, Deconstruction, Removal
1. Site: east stairs, and entry platform.

2. Site: south ramp, and entry platform.

3. Building: East Porch, walls.

4. Building: South Porch in entirety.

5. Building: West Addition shed roof porch, walls - excluding any support columns which are to remain

6. Building: aeriels and support guy wire assemblies.

7. Remove all existing gutters, downspouts, and splash blocks

Chimneys/Vents

E.1.1 1. West chimney: Pointing as needed (20%), in association with roofing and flashing, construct a cricket, install stepped flashing in a reglet, and provide a new metal chimney top to keep out birds and animals.

E.1.2 2. East chimney: Reconstruct from roof level up. Chimney top to be reconstructed to match historic photograph, with cobble to per detail. In association with roofing and flashing, install stepped flashing in a reglet, and provide a new chimney top to keep out birds and animals. Mortar shall match results of analysis of samples taken and analyzed in the historic materials laboratory.

E.1.3 3. Vents: The two bathroom units will have plumbing vents that may require replacement. The roof jacks should be replaced; however, the mechanical system drawings should be reviewed as an integrated system may be specified, all vents fed into one.

E.1.4 4. Exhaust vents: or an integrated system may be specified as per above.

Roofing

E.2.1 1. Main roof, replace with asphalt shingles. Asphalt composition shingles to be Architectural Grade (35 pound) with an "1-90" uplift rating. Color and texture selection by Owner.

E.2.2 2. Northwest addition, replace with asphalt shingles.

E.2.3 3. West Addition, shed roof is mineral surface roll roofing and is compliant. After construction it may need replacement. The current roofing does not appear to be original; it is the second layer. Field confirm.

E.2.4 4. Bay window roof, South, replace asphalt shingle roofing. Asphalt composition shingles to be Architectural Grade (35 pound) with an "1-90" uplift rating. Color and texture selection by Owner.

E.2.5 5. East Porch Roof, replace asphalt shingle roofing. Asphalt composition shingles to be Architectural Grade (35 pound) with an "1-90" uplift rating. Color and texture selection by Owner.

Roofing, Flashing

E.3.1 1. Chimney (see Chimney).
2. Roofs to sidewalls, at minimum porch roof at east and bay window roof to south wall.
3. Roof to roof; northwest addition to main roof, gable roof "dormer" of east to main roof, all valleys.
4. Roof edges, all around with drip edge.
5. At penetrations such as vent stacks.
6. Flashing thickness to be 24 gauge minimum. Galvalume material, in the configuration required for the application.
7. Install flashing per SMACNA, current edition.

E.3.2 1. Install cricket with flashing per SMACNA, current edition.

Roof Structural

E.5.1 1. Install additional collar ties across the remaining roof rafters that do not have them (may not be practical at chimney locations).

E.5.2 2. Sister roof rafters that are not braced between center bearing wall and rafter midspan. Install additional brace struts in the area that is currently braced (central portion) so that each rafter aligns with a brace (currently, braces are every other rafter).

E.5.3 3. Ensure that there are at least two 16d nails toenailing each rafter to the top plate. If not, contact the structural engineer with the existing connection for remedial tie options.

Stone Foundation: Units, Paint, and Mortar

E.6.1 1. Remove brownish red paint by pressure wash. This work will be undertaken by the lead paint abatement contractor and the preferred method is to pressure wash: shall use potable water, conical head, pressure not to exceed 120 psi, angle to surface to be 45 degrees plus or minus 10 degrees, distance of head from the surface 16 to 24 inches, and all removed paint to be collected and, if found to contain above the limit lead, be disposed of by the lead paint contractor per EPA regulations.

2. Review of the now more revealed masonry conditions by the architectural conservator and/or structural engineer.

3. Pointing of masonry to approximately 15% of total length of joints.

4. Allowance for damaged stone replacement and/or repair as required is listed in the Allowance Schedule.

5. After repairs, Owner may opt to paint the stone foundation's exterior surface.

6. Note: The interior surface of the stone foundation, as seen from the basement, appears to have areas without mortar, i.e., dry laid. Yet the exterior surface indicates mortar to be present. Perhaps there are two wythes with the interior wythe without mortar. Point interior and of the accessible interior 100% and insert helifix connectors maximum of 2 foot on center in staggered diamond pattern.

Walls, Siding

E.7.1 1. Clapboards have either been removed or have been covered over by sheet goods in the area behind where the laundry equipment had been located on the west porch, south of the entry into the kitchen. Reveal or replace the clapboards as is indicated after the sheet goods removal. Similarly, the east porch west wall has been covered over by plywood in the full area north of the entry door.

E.7.2 2. The decision has been made to remove the asbestos cement exterior shingle siding. After asbestos cement shingle removal call for the Architect's Office to assess condition of all clapboards and moldings. Given that the asbestos shingles have been fastened to the clapboards by nailing, the clapboards will have nail holes. Repair damage prior to applying new paint, color to match the results of the paint analysis.

E.7.3 3. NOT USED

E.7.4 4. Once the south sun room porch addition has been removed, there may be a need for clapboards to repair existing walls, or replace walls where the connection between the kitchen and the sun porch was previously widened. Replace in-kind.

E.7.5 5. Wood shingles of the east upper elevation, gable end, some will require replacement in-kind. After the paint has been scraped, wire brush to remove the remaining deteriorated paint. At that point the number of shingles requiring replacement will be able to be accurately assessed; the current estimate is 20%. After replacement and repairs paint all of the shingles.

6. General Exterior Paint note: Only deteriorated, peeling paint should be removed. Paint in good condition and adhered to wood should not be removed.

7. General Clapboard Note: Only clapboards needing replacement should be removed. Clapboards needing repair only should be repaired in place if possible. Siding should not be removed to install insulation in walls.

Wood Moldings

E.8.1 1. The wood moldings are painted. The condition of the paint ranges in levels of deterioration from fair to poor. The paint needs to be scraped off, and the surface sanded. At this time the condition can be more fully assessed than with a paint coating. However, the current assessment of condition does not seem to warrant any replacement.

2. Refastening the moldings and/or providing added fasteners is expected to be required.

3. If any moldings are missing or have an inconsistent replacement—does not match—then additions or correct replacements of in-kind moldings are required. Existing original moldings shall to the maximum extent feasible be repaired in place. For moldings removed and repaired and new moldings required as replacements due to loss, prior to reinstallation back prime, set moldings in caulking, and fasten with stainless steel 18 gauge finish nails. Paint to match.

Wall Flashings Around Openings and at Foundation

E.9.1 1. The location of where flashing at wall openings should be present is now buried under the asbestos shingles of the siding, thus its presence is unconfirmed. If the shingles are removed then the required flashing can be assessed as to condition and new flashing installed if none is present. Flashing installation will often require some removal or at minimum loosening of the clapboards expected to be found under the asbestos shingles.

2. Flashing at the top of the foundation, installed over the wall's sill plate joint, is recommended. Install Amerimax Z Bar 1.25-in x 42-in x 1.31-in, or equivalent.

Asbestos Shingles Removal

Asbestos Shingle Removal shall be undertaken by certified specialists, per EPA regulations. Siding condition assessment by the Architect to then be requested by the General Contractor."

Windows

E.10.1 1. Remove wood additions to any window assembly such as wood to support previous air conditioner set in one window of the west window gang, plywood coverings such as at the west addition, and similar. Repair and re-install windows per treatment notes.

Doors

E.11.1 1. Both the exterior doors and the interior doors are constructed of wood. The original finish is clear. The conditions of the doors were noted as good. In the case of the east entry door, there is a door believed to have been hung there and now located leaning against a wall in the living room. Re-hang this door in its original location as front door. In general, the original doors need the clear finish renewed and the door rehung. No condition issues were seen that would require wood repairs. All hardware should be made fully operable.

2. While the likely original east entry door is on site, other exterior doors are not as over time they were apparently removed as each location became enclosed by an addition. These doorways include the south entry to kitchen (now quite wide and without the signature moldings assembly of a door) and a west entry to the kitchen with all the signature moldings in place. The northwest addition has what appears to be an original opening given the moldings. The door to the basement appears original and is recommended to serve as a guide to the stylistic configuration of these replacement doors, be returned to exterior access function, the doorways at the west wall of the kitchen and the south wall of the kitchen.

Building Interior

Interior Finishes—Floors

The selection of what floor finishes are to remain as is, what will be refinished to appear as original, and what will be refreshed is often the choice of the Owner. The condition of the flooring is expected to be good, residing as it has under carpeting for a likely majority of the years since its construction. At this point in the process of conditions assessment not all of the original floor has been exposed as, for example, there is an historical linoleum rug in the dining room and much of the original wood flooring is under the rug. It is the intent of this project to conserve this linoleum rug.

Interior Finishes—Walls and Ceilings

I.2.1 1. While the application of paint over ceiling paper and wallpaper is not a recommended practice, that is the case for most of the rooms. There are three response approaches that are often employed: continue as is and try another layer of paint and hope the paper base keeps its integrity; repaper after existing paper removal; or existing paper removal followed by plaster repairs and paint. Once the contractor is onsite, they will consult with the architect for best treatment for removal of wall covering and replacement of wallpaper in kind. New paper will be selected that is as similar as possible in color and pattern to the original wallpaper.

I.2.2 2. Remove the plywood from the east porch's west wall and repair the clapboards.

Interior Finishes—Moldings

1. The finishes are recommended to all be clear; remove paint from the few that exhibit overpainting of the clear coat. Re-coat all.
2. Replace any damaged, or any missing moldings in kind.

Lighting

All lighting to be period. As to guidance, it appears that much of the interior appointments were selected from the SEARS catalog of the day. The reproduction of the 1904 catalog can serve as a guide to the styles of the period for a house with electricity (no coal gas). Selection to occur for lighting fixtures in the Phase Two scope.

Electrical System

The scope has been generally set by the Town of Windsor and their electrical inspector.

Mechanical Systems

M.1.1 1. In the final design it is expected that the location and number of fixtures requiring water connections to the water system, and connections to the waste pipe system will change. New piping is contemplated as a result.
2. (Not used)

3. The existing hot water tank is of sufficient size at 50 gallons, and it was installed about 2018 so it should have many more years of service. The burners/jets are believed to be set up for the current gas supply, propane, and will need to be made suitable for natural gas.

4. The building is recommended to be switched over from propane to natural gas by the installation of a connection meter/etc.

5. The existing duct system is recommended to be the subject of minor modifications to reflect changes arising out of the re-use plan.

6. The existing furnace shall be replaced with a 93-95% efficient natural gas fired furnace (condensing) of approximately 80,000 Btu/h rating.

7. A cold deck will be added to the furnace as part of a new air conditioning system, the compressor location will be close to the northwest corner.

8. New controls will be added to assist in achieving higher energy efficiency, and to increase comfort of the interior climate.

9. The sump pump is defunct, replace and install per code in a pit meeting code.

Energy and Insulation

EN.1 1. Attic: increase insulation to R-48.

EN.2 2. Basement: insulate sidewalls with draped vinyl faced fiberglass, R-13.

EN.3 3. Basement: lay 6 mil polyethylene over the exposed earth and tape the joints.

EN.4 4. Walls: confirm current insulation and bring the walls up to code or if asbestos shingle siding is retained, and insulation presence is confirmed as to extent by infrared inspection, consider retrofit alternatives relative to the extent of existing.

EN.5 5. Add insulating curtains to all windows.

6. New lighting shall be LED.

ADA

ADA.1 1. Alter existing semi accessible bathroom to maximize compliance.

ADA.2 2. Add a new ADA compliant bathroom into the northwest addition.

ADA.3 3. Site location, ramps to code at west.

BROOKIE
ARCHITECTURE
PLANNING INC

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P-970.247.1336

office@brookiearchitecture.com

CD SET

Windsor - Dickey Farmhouse &
Halfway House

33327 CR 15, Windsor, Colorado 80550

Revision Schedule

Number	Date

date: 2-14-2022

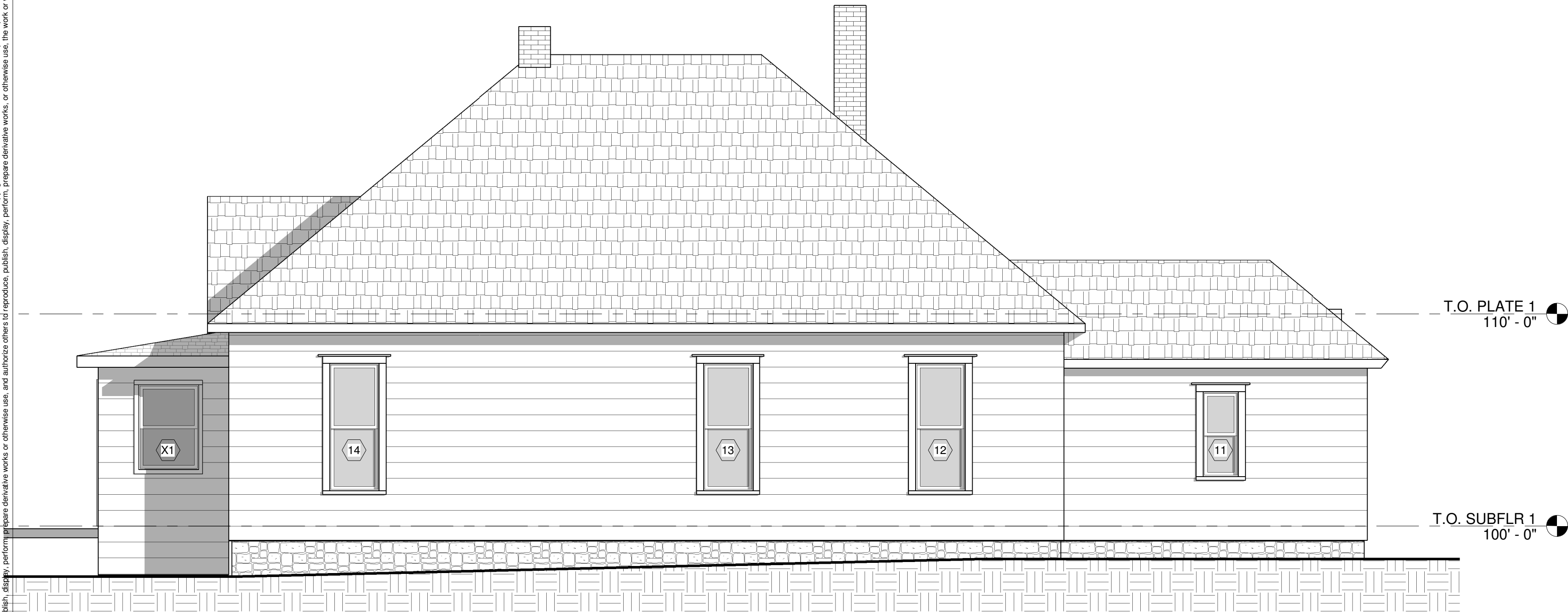
drawn: DOS

checked: DRB

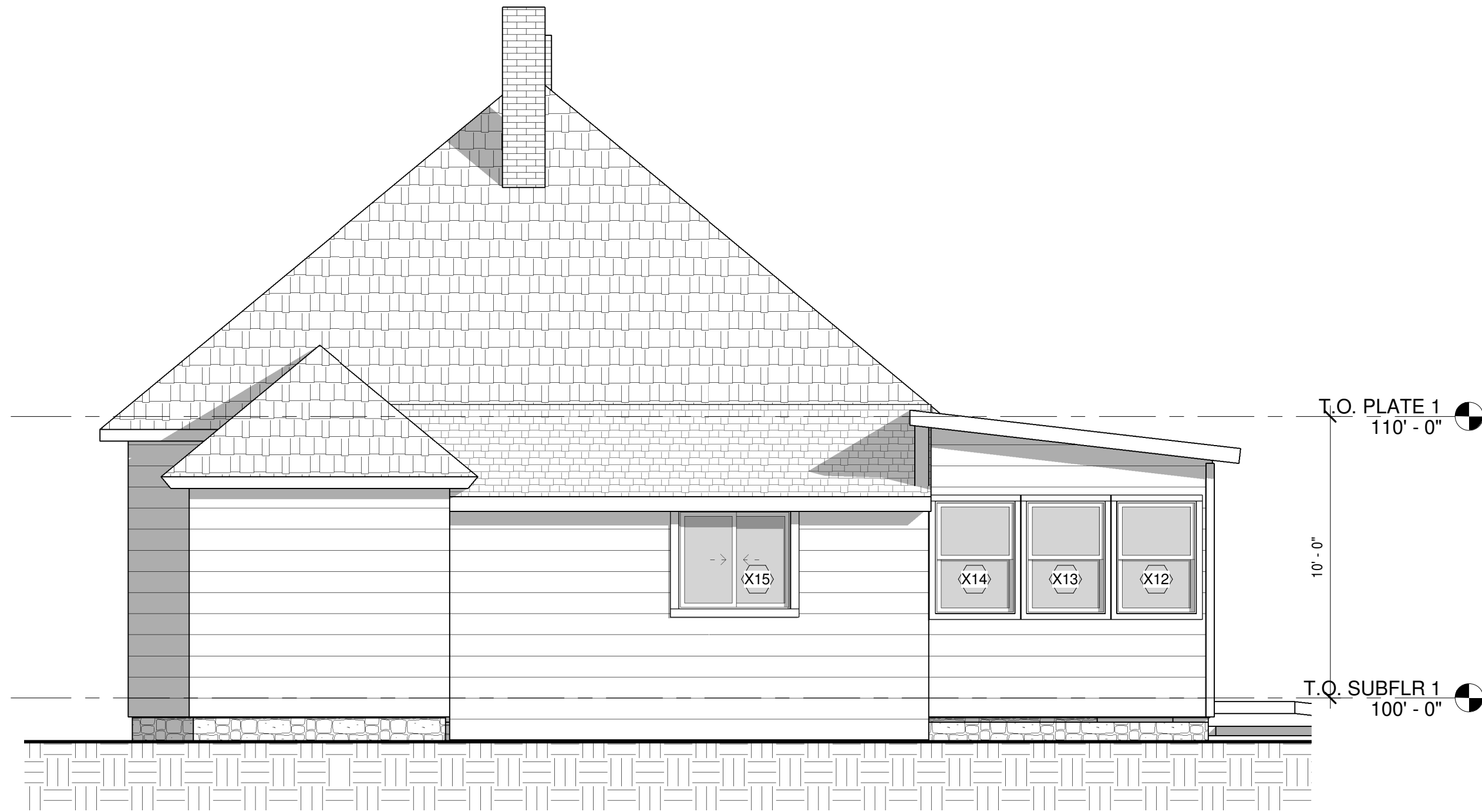
DICKEY FLOOR
PLANS, KEYNOTES

A-2.1

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4 EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



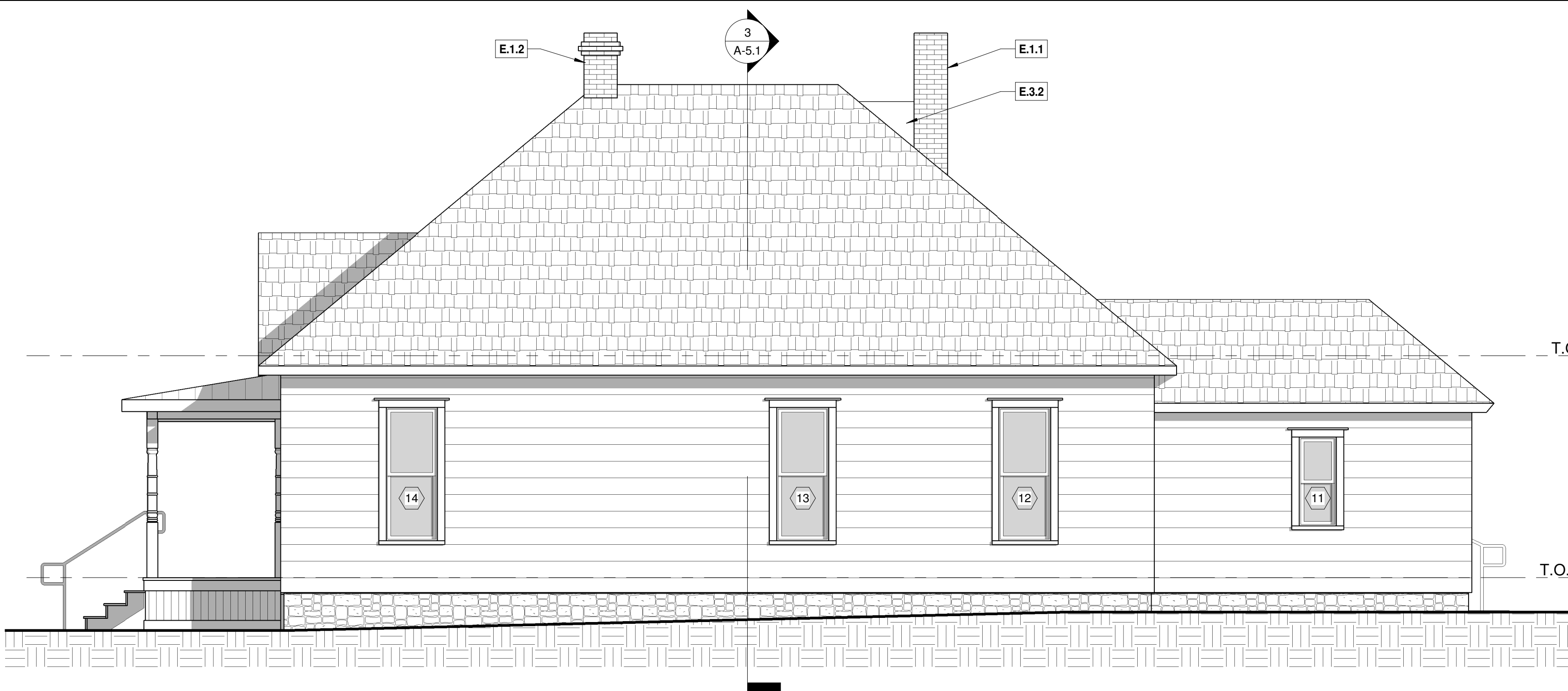
1 EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"

Number	Date

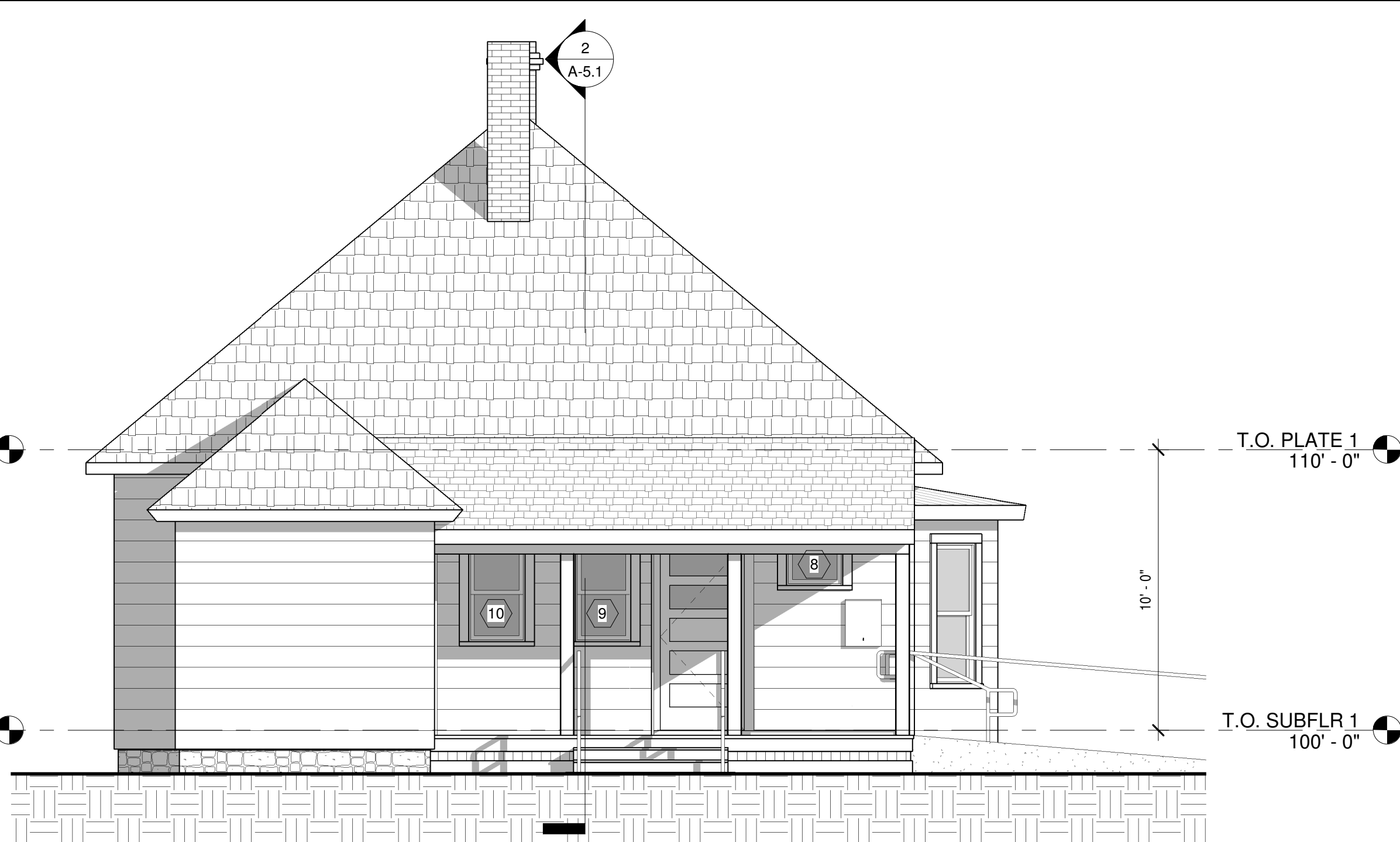
date: 2-14-2022
drawn: DOS
checked: DRB

DICKEY ELEVATIONS
- EXISTING

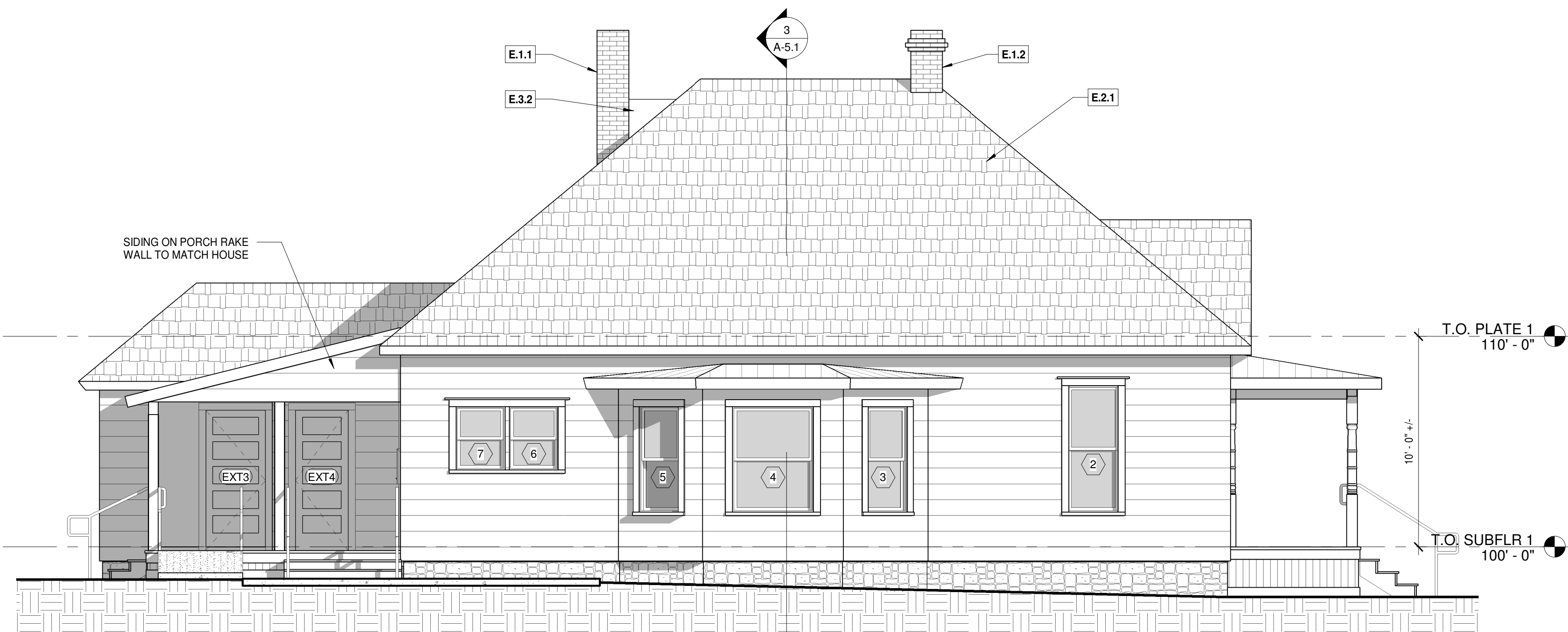
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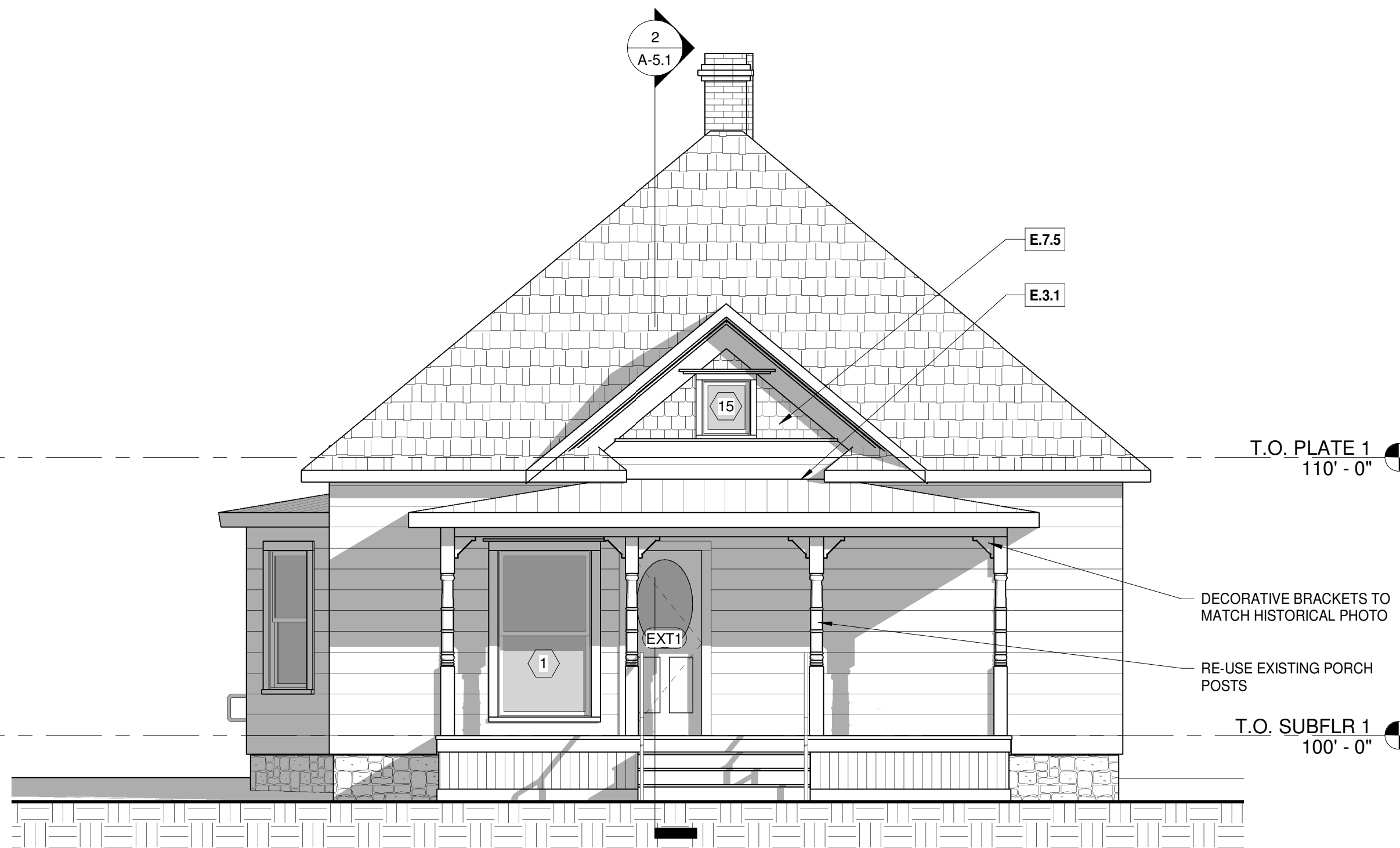
4 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



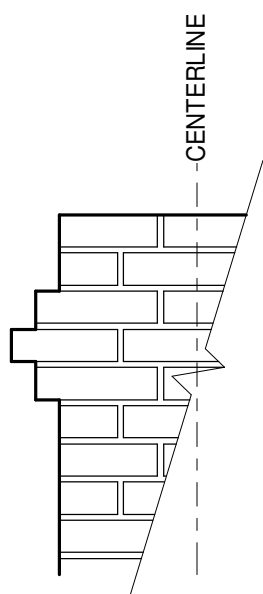
3 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



5 CHIMNEY TOP PROFILE
SCALE: 1" = 1'-0"

WINDOW SCHEDULE						
TAG NO.	WIDTH	HEIGHT	UNIT DESCRIPTION	HEAD HEIGHT	MATERIAL	NOTES
1	3' - 4"	6' - 0"		6' - 8"		
2	2' - 6"	6' - 0"		7' - 8"		
3	2' - 4"	5' - 0"		6' - 8"		
4	3' - 10"	5' - 0"		6' - 8"		
5	2' - 4"	5' - 0"		6' - 8"		
6	2' - 4"	3' - 0"		6' - 8"		
7	2' - 4"	3' - 0"		6' - 8"		
8	2' - 0"	1' - 6"		6' - 8"		
9	2' - 0"	3' - 6"		6' - 8"		
10	2' - 0"	3' - 6"		6' - 8"		
11	1' - 8"	4' - 0"		6' - 4"		
12	2' - 4"	6' - 0"		7' - 8"		
13	2' - 4"	6' - 0"		7' - 8"		
14	2' - 4"	6' - 0"		7' - 8"		
15	1' - 9"	2' - 0"		12' - 9 5/8"		
Grand total: 15						

DOOR SCHEDULE					
TAG NO.	UNIT WIDTH	UNIT HEIGHT	TYPE	SWING	NOTES
1	2' - 10"	6' - 8"			
2	3' - 0"	6' - 8"			
3	2' - 6"	6' - 8"			
4	2' - 6"	6' - 8"			
5	2' - 10"	6' - 8"			
6	2' - 10"	6' - 8"			
EXT1	2' - 8"	6' - 8"			New door to match ex. historic
EXT2	3' - 0"	6' - 8"			Reinstall this existing exterior door stored on premises
EXT3	2' - 10"	6' - 8"			New door to match ex. historic. Glass in upper 40%
EXT4	2' - 6"	6' - 8"			Existing door to remain
Grand total: 10					

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CD SET

Windsor - Dickey Farmhouse &
Halfway House

33327 CR 15, Windsor, Colorado 80550

Revision Schedule

Number	Date

date: 2-14-2022

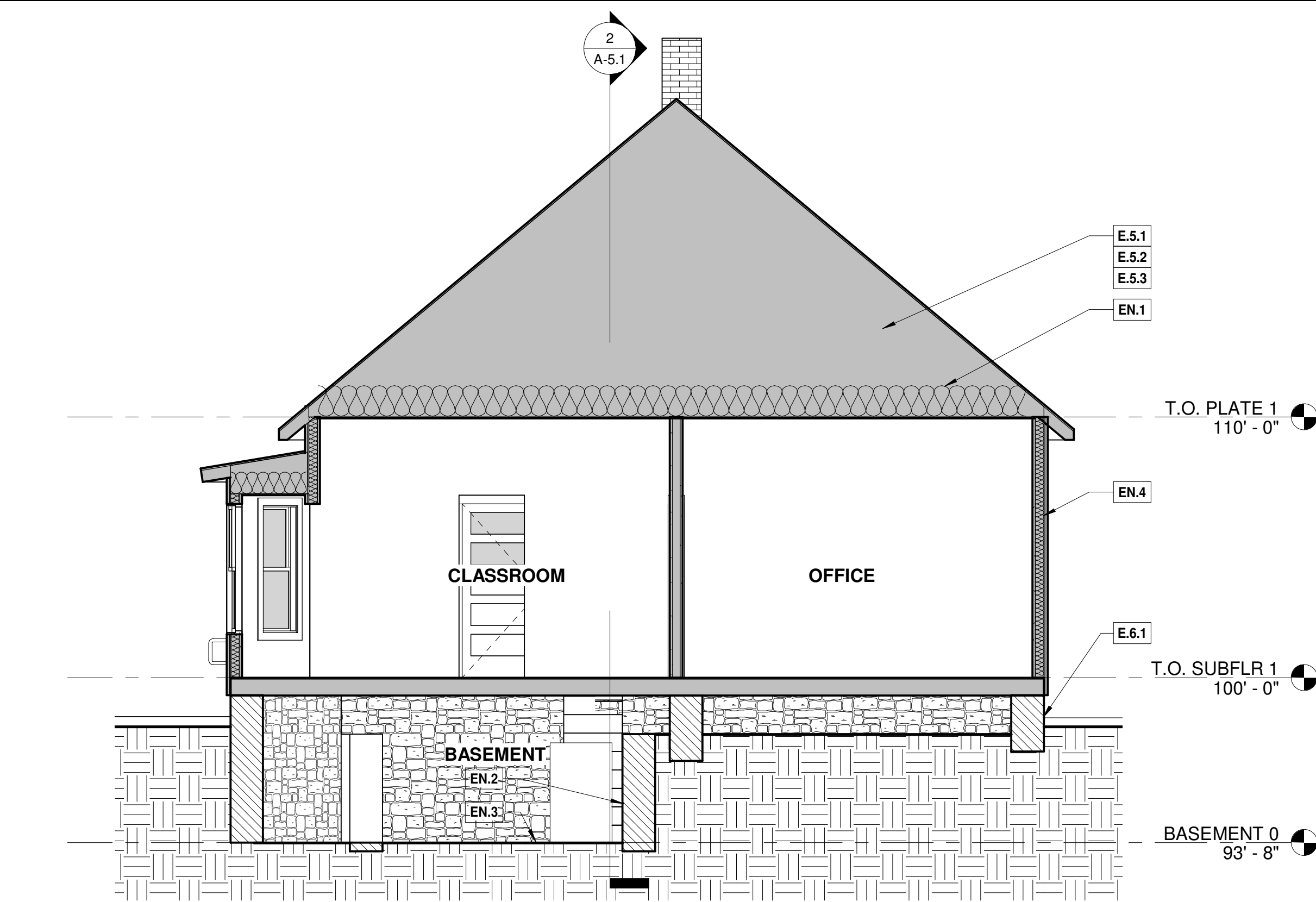
drawn: DOS

checked: DRB

DICKEY ELEVATIONS
- PROPOSED,
SCHEDULES

A-4.2

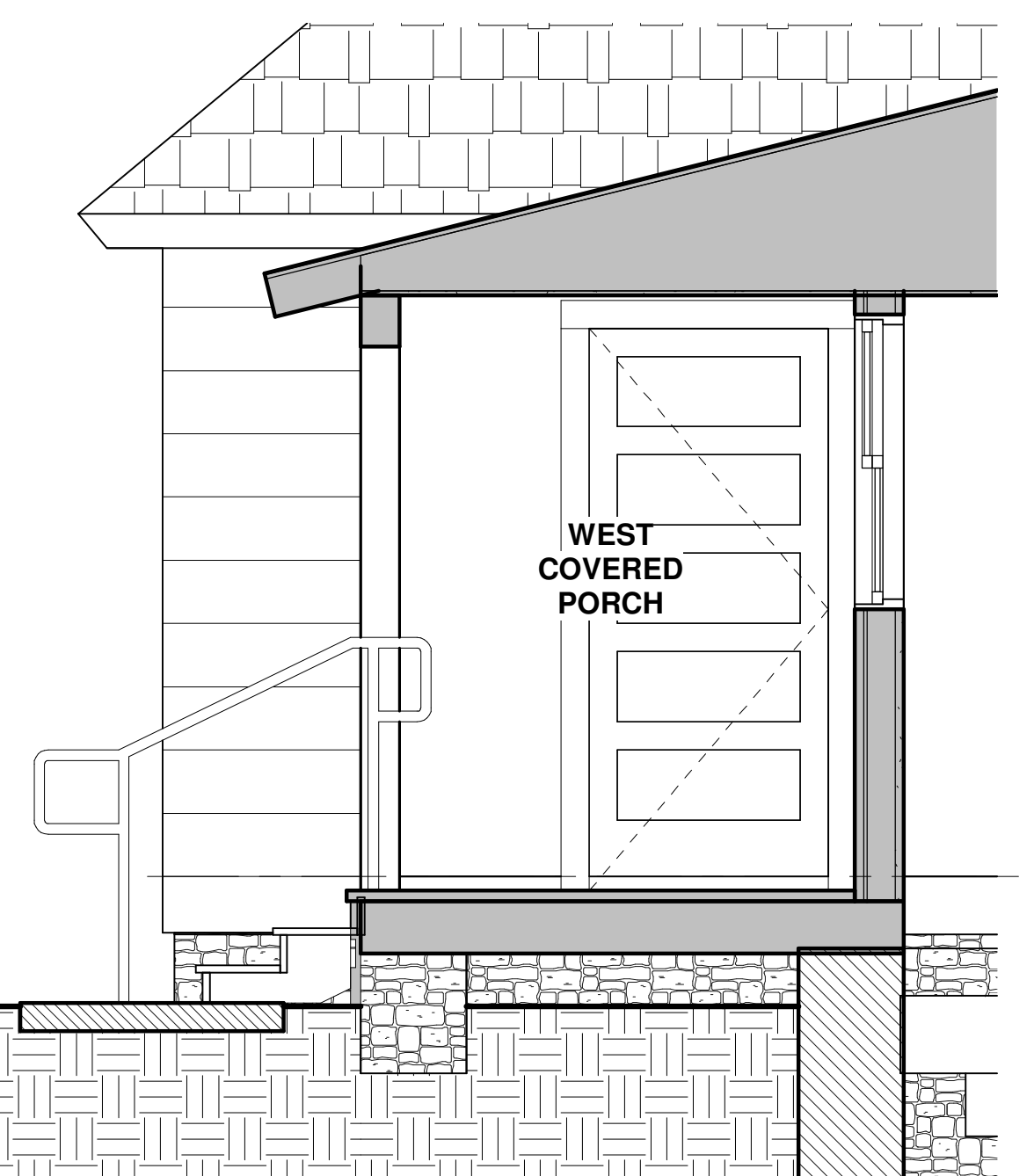
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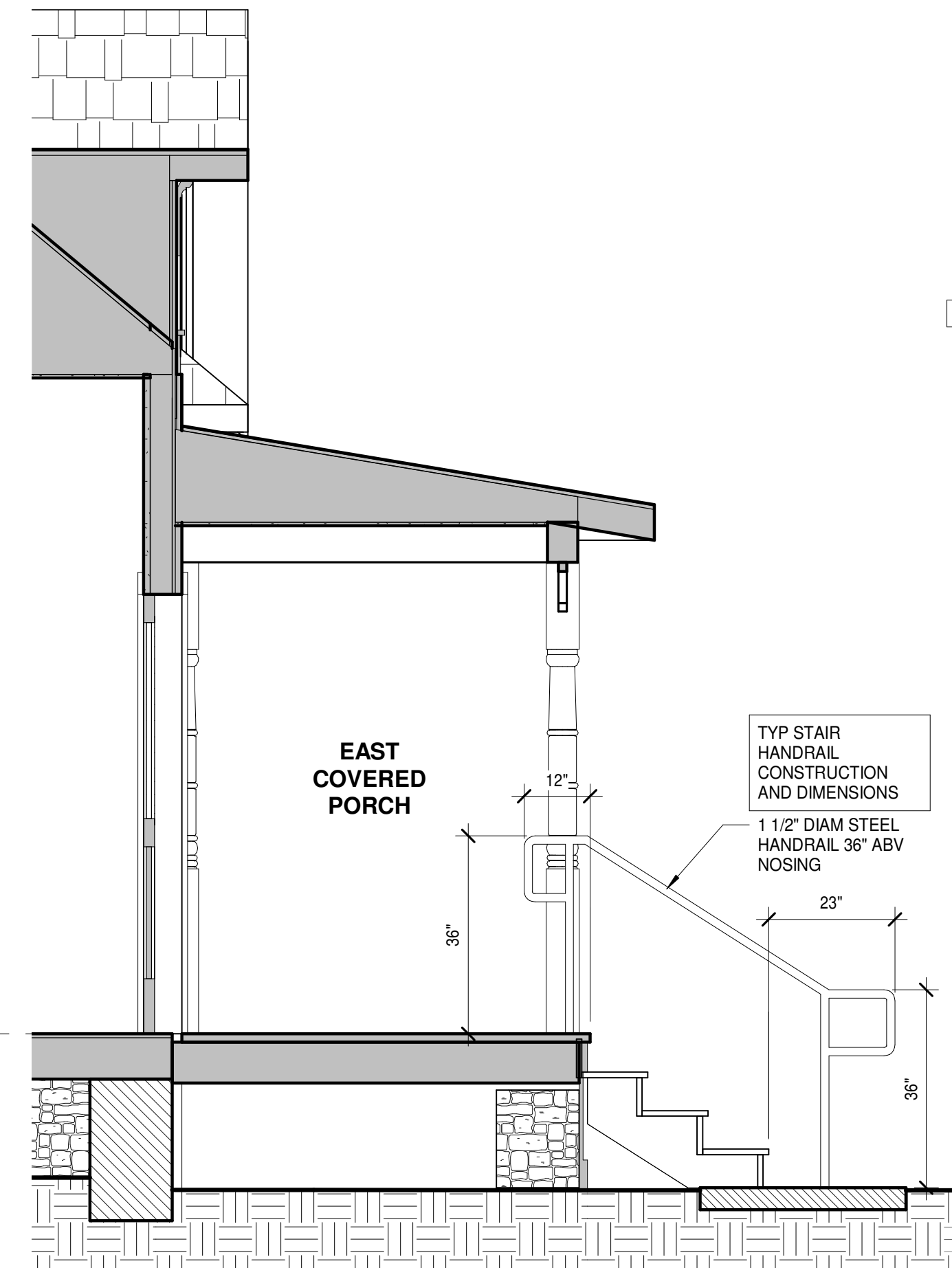
3 BUILDING SECTION B
SCALE: 1/4" = 1'-0"



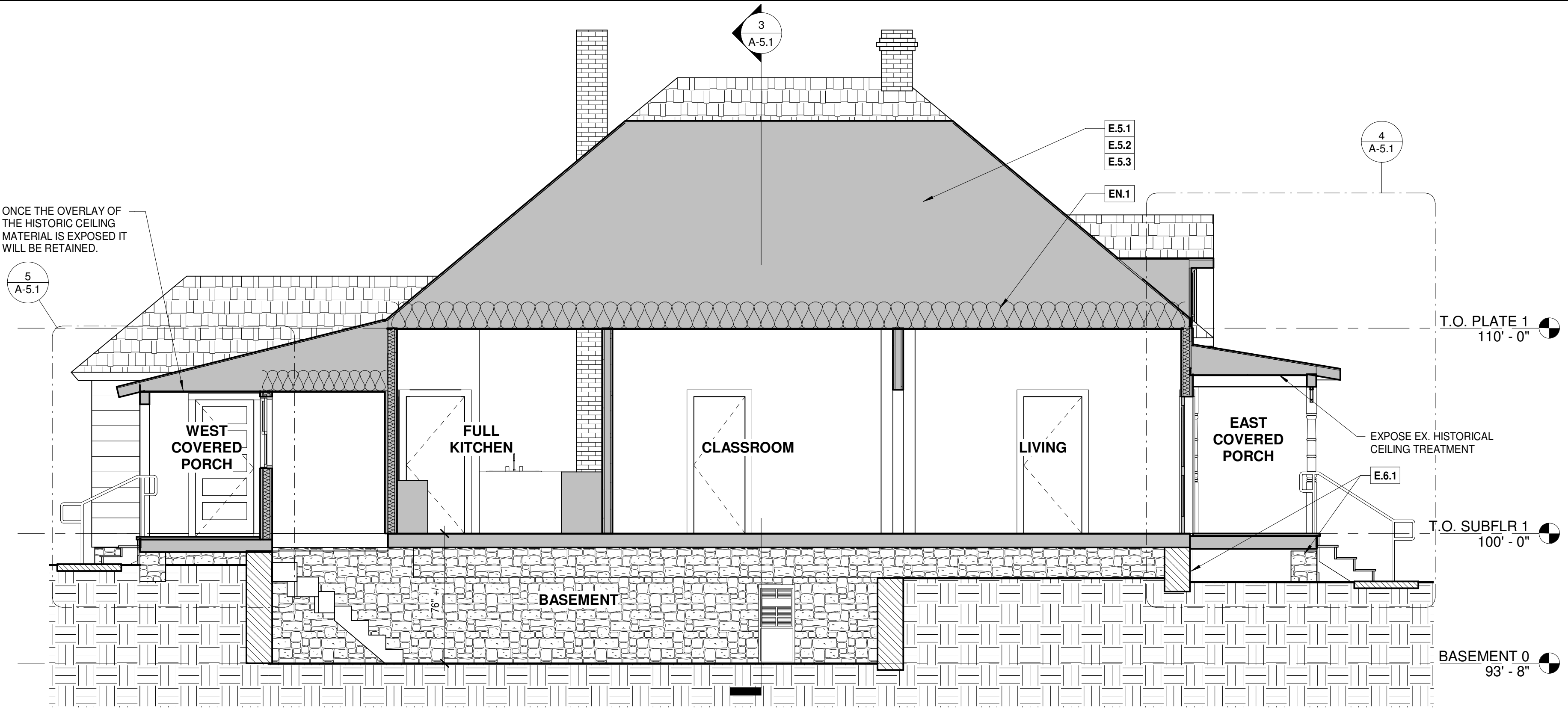
6 ROOF STRENGTHENING DETAIL



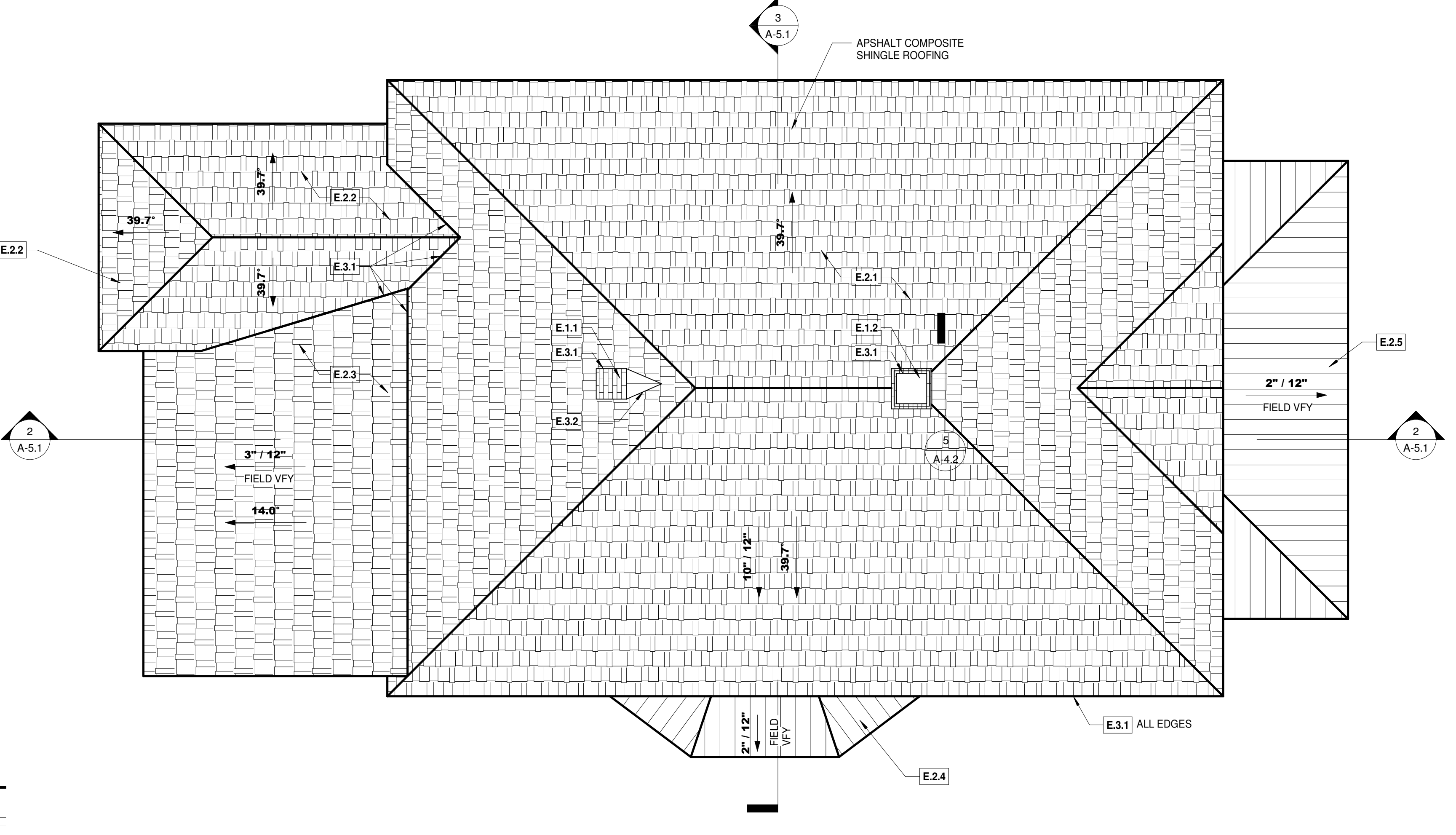
5 WEST PORCH SECTION
SCALE: 1/2" = 1'-0"



4 EAST PORCH SECTION
SCALE: 1/2" = 1'-0"



2 BUILDING SECTION A
SCALE: 1/4" = 1'-0"



1 ROOF PLAN
SCALE: 1/4" = 1'-0"



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Windsor - Dickey Farmhouse & Halfway House

33327 CR 15, Windsor, Colorado 80550

Revision Schedule	
Number	Date

date: 2-14-2022
drawn: DOS
checked: DRB

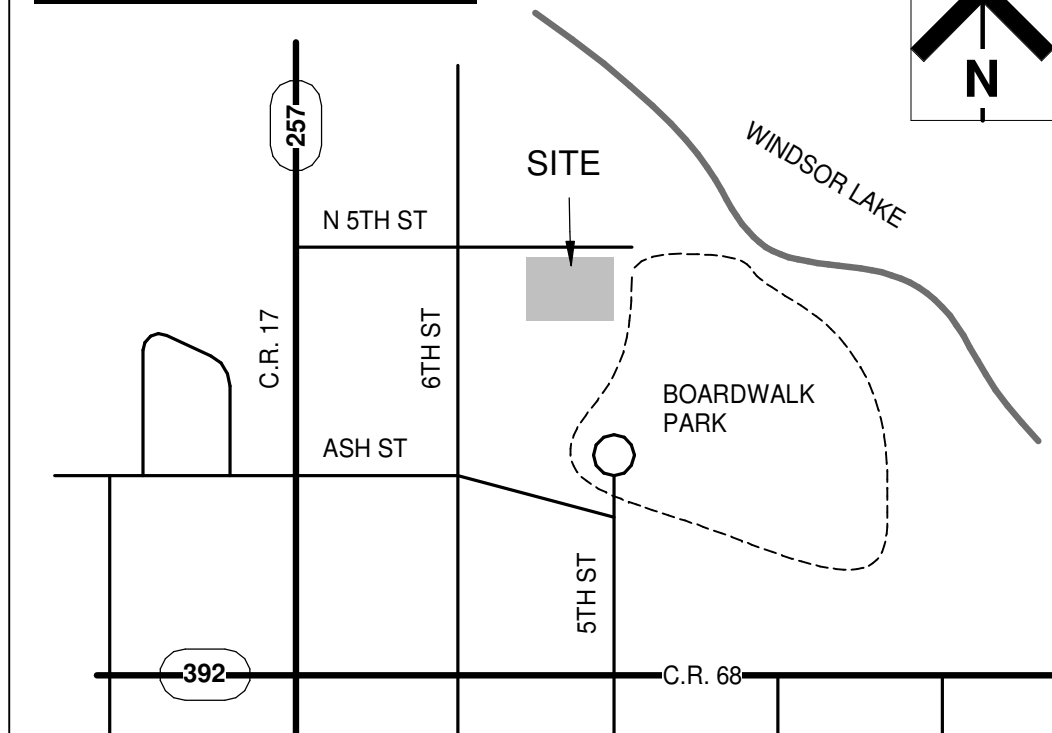
DICKEY SECTIONS,
ROOF PLAN

A-5.1

The architect acknowledges that the project, which is the subject of this agreement is being funded in part by a grant from the Colorado Historical Society, State Historical Fund. THE ARCHITECT AGREES THAT, IN THE EVENT OF A CONFLICT BETWEEN THE TERMS OF THE GRANT CONTRACT AND THIS AGREEMENT, THE TERMS OF THE GRANT CONTRACT SHALL PREVAIL. All products that are submitted to the Society shall become materials of public record. NOTWITHSTANDING ANY OTHER PROVISION IN THIS AGREEMENT TO THE CONTRARY, THE ARCHITECT HEREBY GRANTS TO THE SOCIETY, FOR ALL COPYRIGHTABLE MATERIALS AND SUBMITTALS DEVELOPED OR PRODUCED UNDER THIS CONTRACT, A ROYALTY-FREE, NONEXCLUSIVE, AND IRREVOCABLE LICENSE TO REPRODUCE, PUBLISH, PERFORM, PREPARE DERIVATIVE WORKS, OR OTHERWISE USE THE WORK OF THE SOCIETY AND ITS AFFILIATES FOR ANY AND ALL PURPOSES.

LEVEL

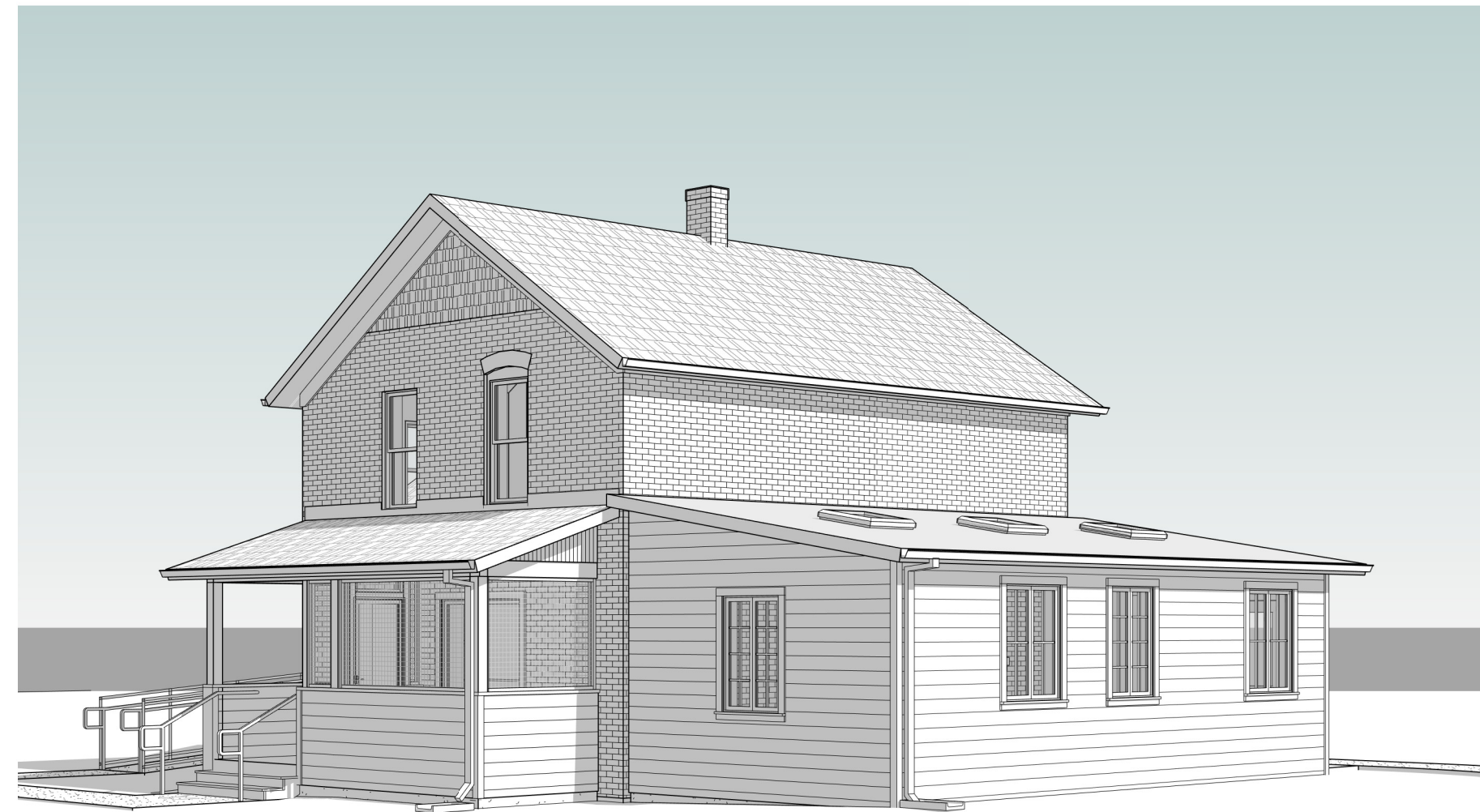
Windsor, Colorado



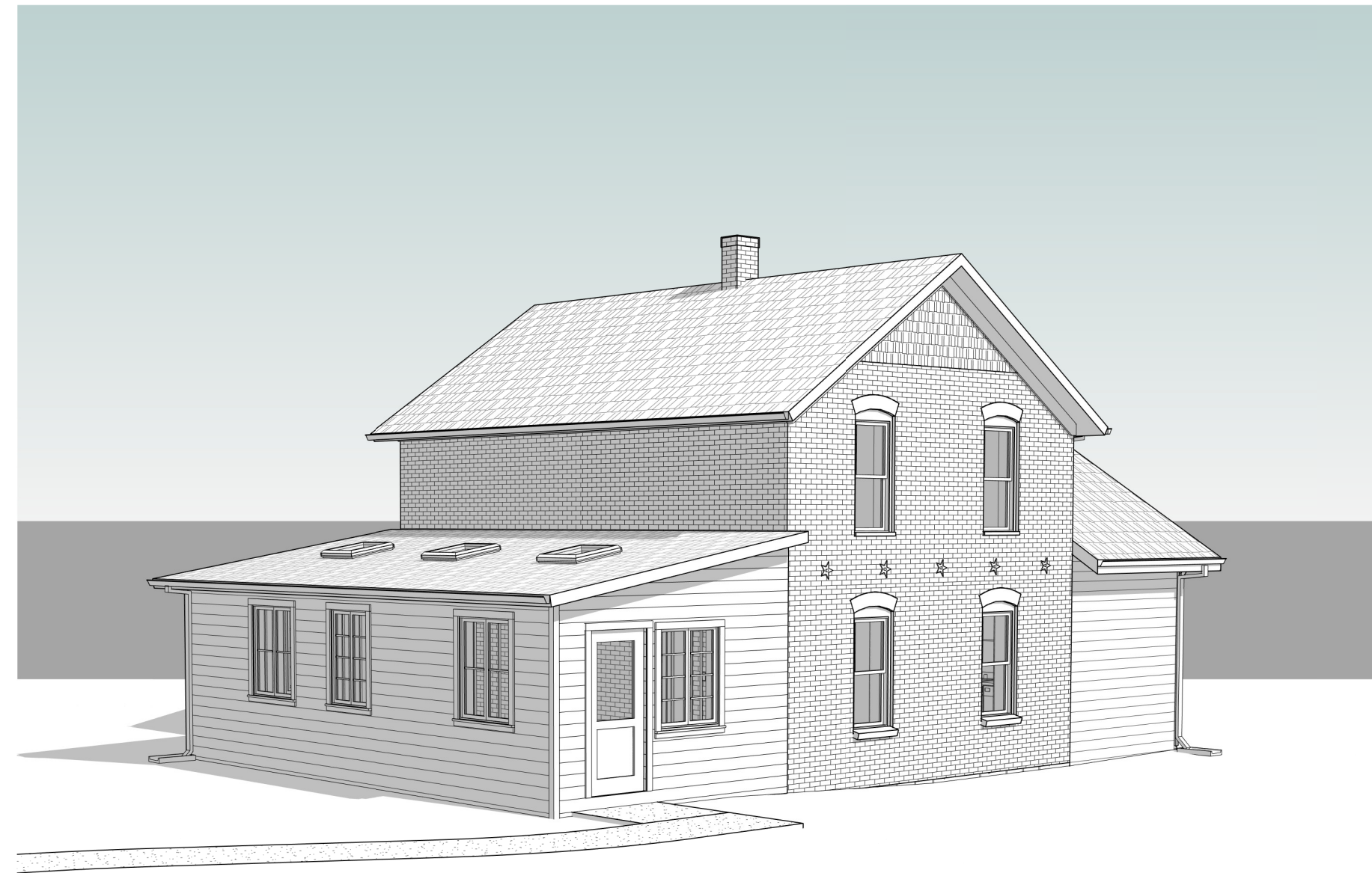
- REHABILITATION OF EXISTING BUILDING
- 1620 SF TOTAL + COVERED PORCH
- H/C RESTROOM
- NEW NON-H/C RESTROOM
- NEW KITCHEN
- NEW CONCRETE EXTERIOR ACCESS RAMP AND WALKS

THIS BUILDING IS AN HISTORIC BUILDING. ALL RENOVATION HAS AS A PRIMARY GOAL THE MAXIMUM RETENTION OF THE ORIGINAL HISTORIC FABRIC. AN OBJECTIVE IS TO REPAIR ORIGINAL MATERIALS AS FEASIBLE RATHER THAN TO REPLACE THEM WITH NEW MATERIALS.

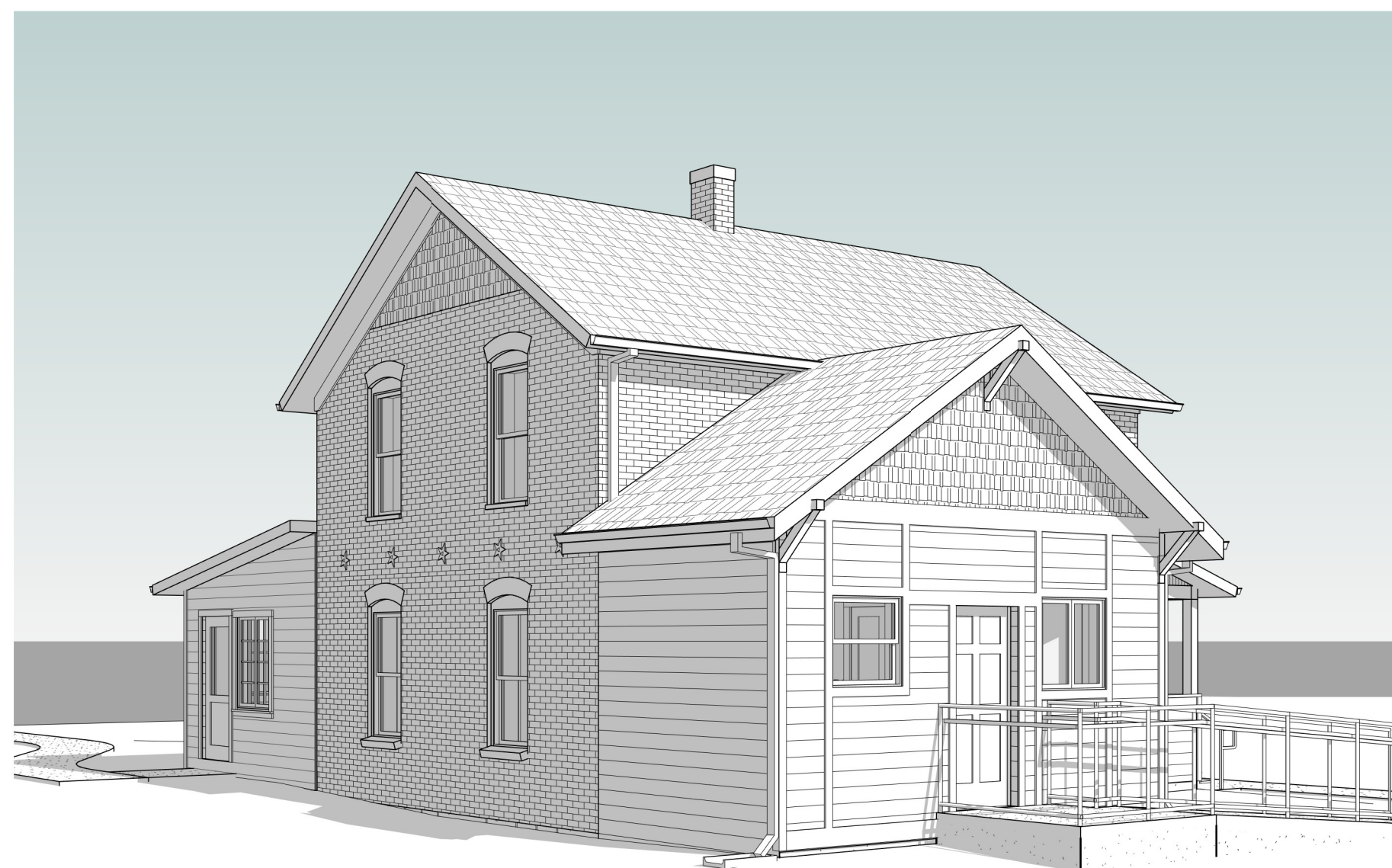
NOTE: MODIFICATIONS TO THESE PLANS WILL BE MADE AT THE TIME OF ACTUAL CONSTRUCTION TO REFLECT CHANGES IN CODES, MATERIALS AVAILABILITY, ENHANCEMENTS IN MEANS AND METHODS, AND OTHER CHANGES IN CIRCUMSTANCES.



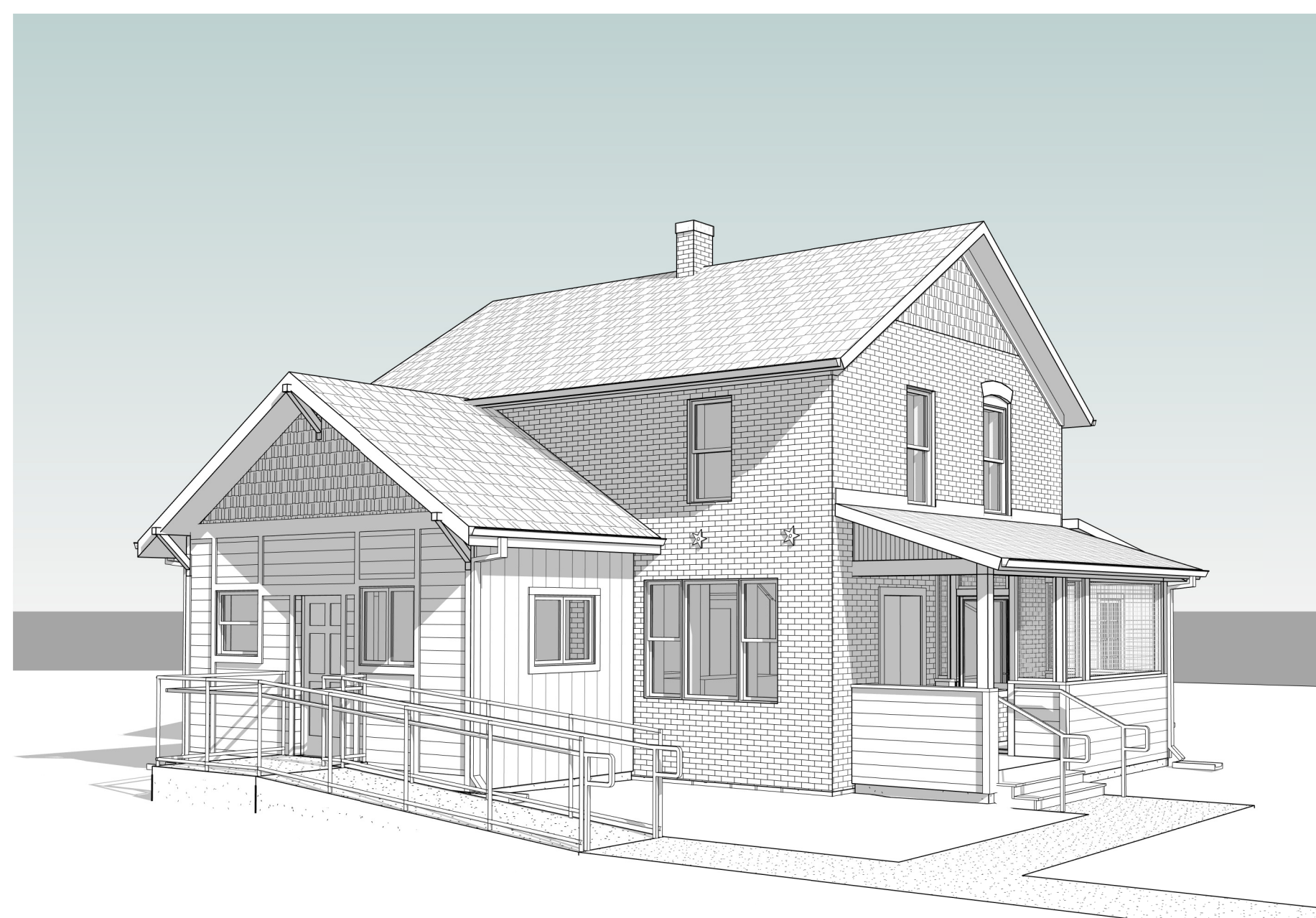
4 PERSPECTIVE - NE (PROPOSED)



2 PERSPECTIVE - NW (PROPOSED)



3 PERSPECTIVE - SW (PROPOSED)



1 PERSPECTIVE - SE (PROPOSED)

2018 INTERNATIONAL BUILDING CODE (the "IBC") - with amendments
2018 INTERNATIONAL RESIDENTIAL CODE (the "IRC") - with amendments
2018 INTERNATIONAL EXISTING BUILDING CODE (the "IEBC") - with amendments
2018 INTERNATIONAL MECHANICAL CODE (the "IMC") - with amendments
2018 INTERNATIONAL PLUMBING CODE (the "IPC") - with amendments
2018 INTERNATIONAL FUEL GAS CODE (the "IFGC") - with amendments
2018 INTERNATIONAL ENERGY CONSERVATION CODE (the "IECC") - with amendments
2018 INTERNATIONAL CODE COUNCIL PERFORMANCE CODE (the "ICCPC") - with amendments
2018 INTERNATIONAL SWIMMING POOL AND SPA CODE (the "ISPPSC") - with amendments

1000

ARCHITECT: **Brookie Architecture and Planning, Inc.**
Dean R. Brookie, A.I.A.
970 East Fourth Avenue
Durango, Colorado 81301
P 970.247.1336 office@brookiearchitecture.com

STRUCTURAL
ENGINEER: **Atkinson-Noland & Associates**
Consulting Engineers
David Woodham, P.E.,
P: 303.444.3620

MECHANICAL ENGINEER: **Seward Mechanical Systems**
Paul Seward, PE
4175 Eldorado Springs Drive
Boulder, Colorado 80303
303-926-9245 seward@steam-engine.com

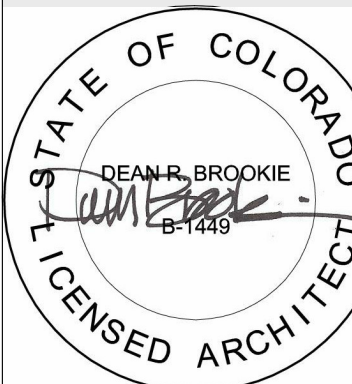
GENERAL CONTRACTOR: ---

A-0.1	COVER SHEET
A-1.1	SITE PLAN
A-2.1	FLOOR PLANS - EXISTING/DEMO
A-2.2	FLOOR PLANS - NEW
A-2.3	ROOF PLAN, WORK DESCRIPTION
A-4.1	ELEVATIONS - EXISTING
A-4.2	ELEVATIONS - NEW
A-5.1	BUILDING SECTIONS
A-5.2	DETAILS, INTERIOR ELEVATIONS
E.1	ELECTRICAL PLANS
M.1	MECHANICAL PLANS
P.1	PLUMBING PLANS

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Windsor - Eaton House

130 North 5th Street, Windsor, Colorado 80550

Revision Schedule

Number	Date

date: 9-15-2022

drawn: DOS

checked: DRE

COVER SHEET

A-0.1

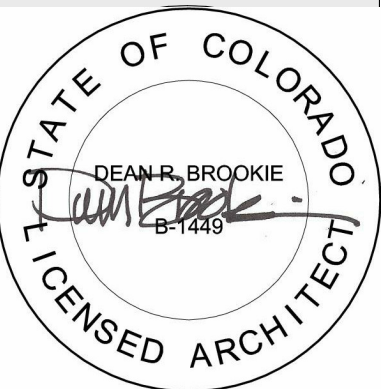
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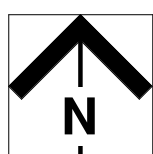
130 North 5th Street, Windsor, Colorado 80550

Revision Schedule	
Number	Date
date:	9-15-2022
drawn:	DOS
checked:	DRB

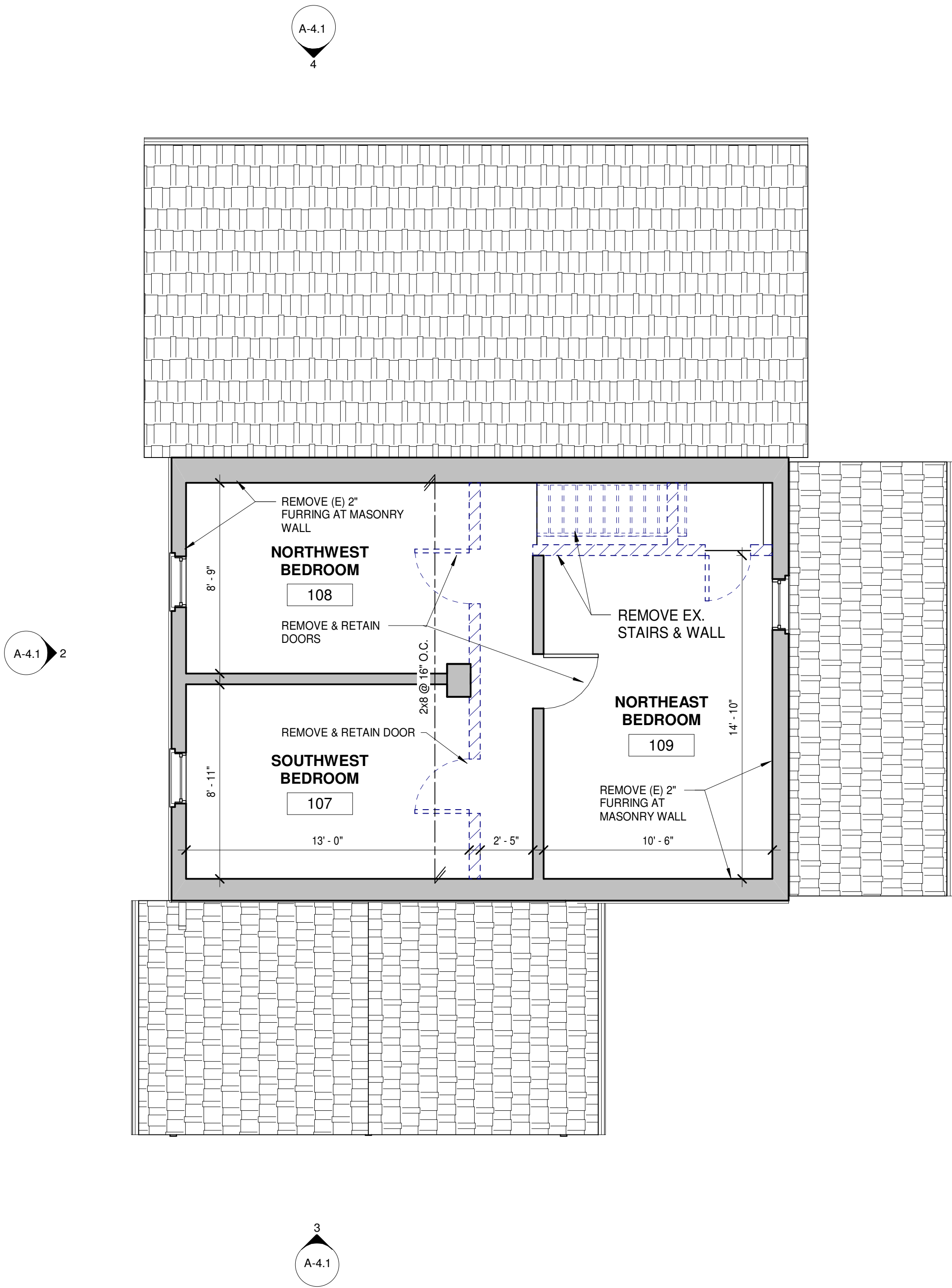
SITE PLAN

A-1.1

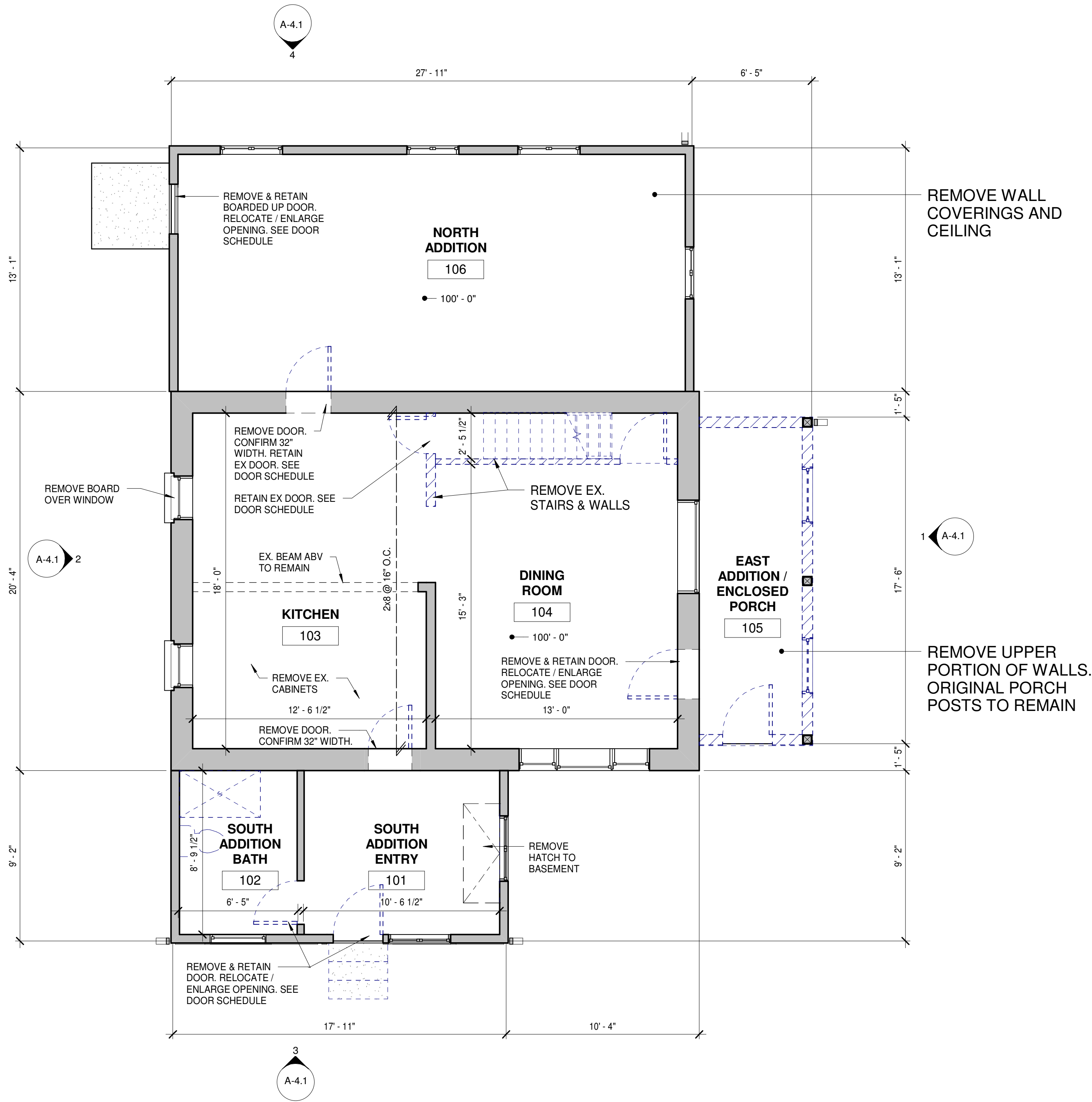
1 SITE PLAN
SCALE: 1" = 10'-0"



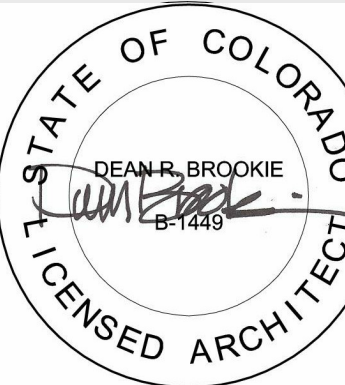
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2 **EXISTING / DEMO SECOND FLOOR PLAN**
SCALE: 1/4" = 1'-0"



1 **EXISTING / DEMO FIRST FLOOR PLAN**
SCALE: 1/4" = 1'-0"



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Windsor - Eaton House

130 North 5th Street, Windsor, Colorado 80550

Revision Schedule

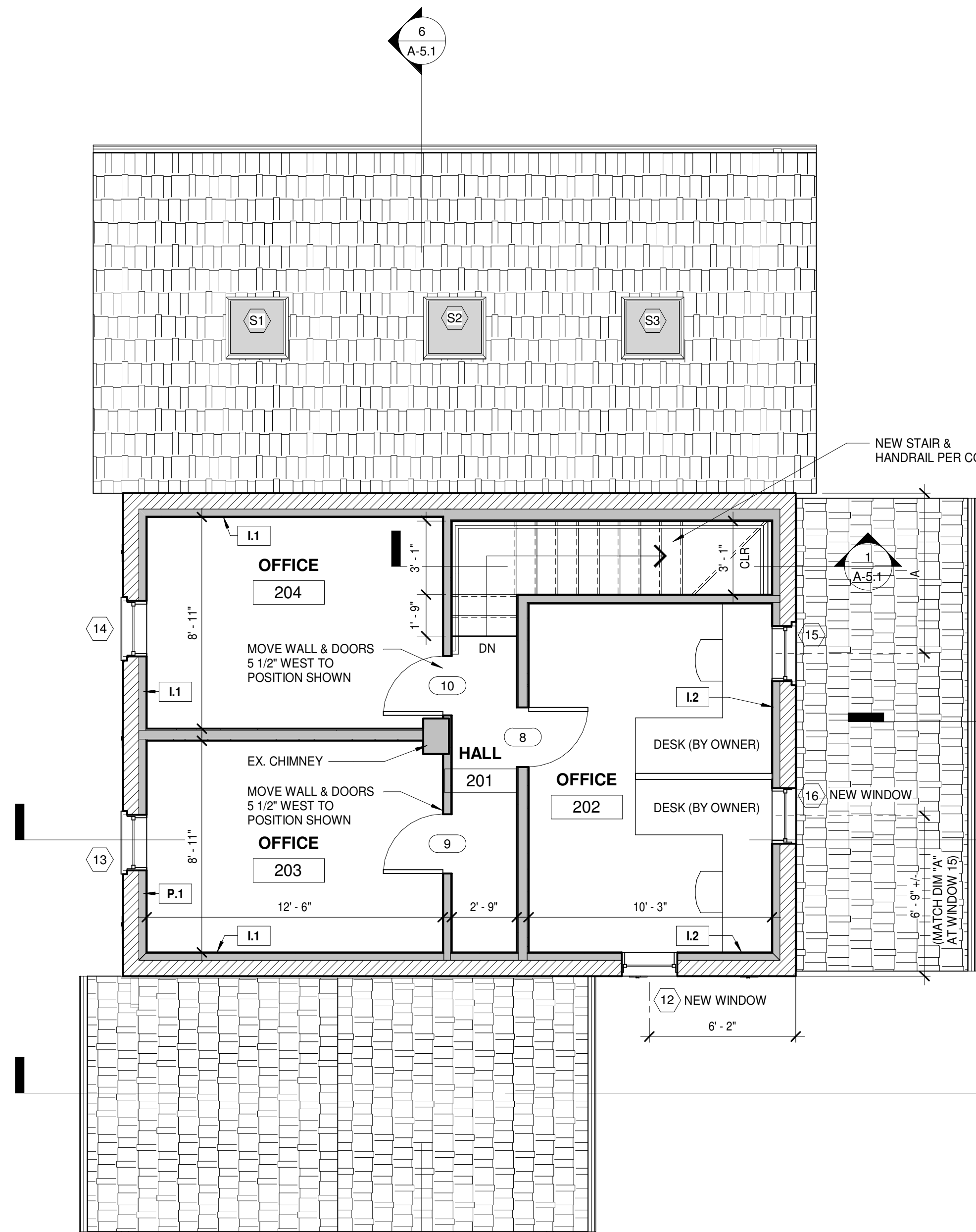
Number	Date

date: 9-15-2022
drawn: DOS
checked: DRB

FLOOR PLANS -
EXISTING/DEMO

A-2.1

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2 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



WINDOW SCHEDULE						
TAG NO.	TYPE TAG	WIDTH	HEIGHT	UNIT DESCRIPTION	HEAD HEIGHT	MATERIAL
1A	B	3'-0"	5'-0"		7'-4"	Part of assy 1
1B	C	2'-0"	5'-0"		7'-4"	Part of assy 1
1C	C	2'-0"	5'-0"		7'-4"	Part of assy 1
2	F	3'-6"	2'-10"		6'-8"	
3	FF	3'-4"	3'-2"		7'-0"	
4	G	3'-0"	2'-10"		6'-11"	
5	D	2'-4"	5'-0"		6'-8"	
6	D	2'-4"	5'-0"		6'-8"	
7	EE	3'-4"	4'-3"		7'-1"	Retain & rehab
8	E	2'-9 1/2"	4'-3"		7'-1"	Retain & rehab
9	EE	3'-4"	4'-3"		7'-1"	Retain & rehab
10	E	2'-9 1/2"	4'-3"		6'-8"	Retain & rehab
11	A	5'-0"	4'-4"		6'-8"	
12	K	2'-4"	4'-4"		6'-0"	NEW window & opening
13	D	2'-4"	5'-0"		6'-8"	
14	D	2'-4"	5'-0"		6'-8"	
15	D	2'-4"	5'-0"		6'-8"	
16	D	2'-4"	5'-0"		6'-8"	NEW window & opening
17	J	3'-4"	4'-2"		6'-8"	NEW window & opening. Match ex. window on opposite wall
S1	I	2'-6"	2'-6"	Skylight		
S2	I	2'-6"	2'-6"	Skylight		
S3	I	2'-6"	2'-6"	Skylight		
Grand total: 22						

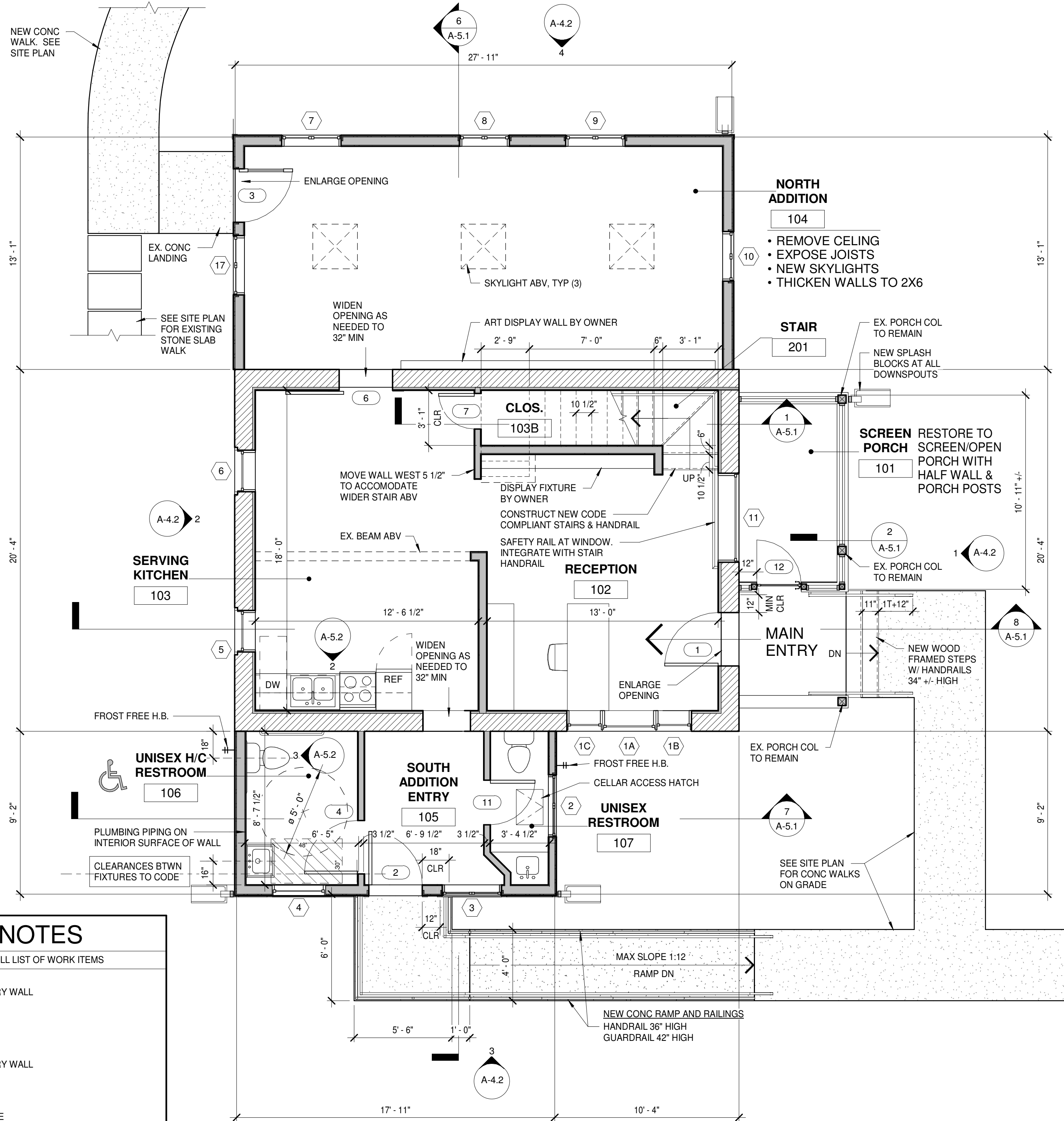
FURRING & INSUL KEYNOTES

NOTE: SEE DETAILED WORK DESCRIPTION SHEET A-2.3 FOR FULL LIST OF WORK ITEMS

- L1** FURRING / INSUL
 - INSTALL 2X4 FURRING WALL ON INTERIOR OF MASONRY WALL
 - INSULATE W/ 3 1/2" FOAM ISOCYANURATE
 - 1/2" TYPE-X GWB
 - EXTEND WINDOW JAMB AS NECESSARY
- L2** FURRING / INSUL
 - DEMO (E) 2" FURRING AT MASONRY WALL
 - INSTALL 2X4 FURRING WALL ON INTERIOR OF MASONRY WALL
 - INSULATE W/ 3 1/2" FOAM ISOCYANURATE
 - 1/2" TYPE-X GWB
 - EXTEND WINDOW JAMB AS NECESSARY
- L3** 2ND FLOOR SLOPED CEILING: R-28 FOAM ISOCYANURATE
- L4** 2ND FLOOR FLAT CEILING: R-44 FOAM ISOCYANURATE
- L5** 2ND FLOOR: R-19 SOUND BATTS
- L6** 1ST FLOOR: R-30 BATTS
- L7** EXTERIOR FRAMED WALLS
 - 5 1/2" FRAMING: R-20 BATT INSUL
 - < 5 1/2" FRAMING: R-20 MIN POLYISOCYANURATE SPRAY-IN FOAM INSUL
- L8** ROOF
 - < 15" VERT HEEL SPACE R-38 POLYISOCYANURATE SPRAY-IN FOAM INSUL
 - > 15" VERT HEEL SPACE R-38 BATT INSUL

DOOR SCHEDULE

TAG NO.	UNIT WIDTH	UNIT HEIGHT	Type Comments	SWING	NOTES
1	3'-0"	6'-8"	Single door		Enlarge opening as needed for 36" wide door. Retain & rehab ex. door. Treatment A
2	3'-0"	6'-8"	Single door		Enlarge opening as needed for 36" wide door. Retain & rehab ex. door. Treatment A
3	3'-0"	6'-8"	Single door		Enlarge opening as needed for 36" wide door. Retain & rehab ex. door. Treatment A
4	3'-0"	6'-8"	Single door		Enlarge opening as needed to make 32" clear wide. Retain & rehab ex door. Treatment A
6	3'-0"	6'-8"	Barn style door		Enlarge opening as needed to make 32" clear wide. Retain & rehab ex door for barn-panel. Treatment A
7	2'-0"	6'-0"	Single Door		Retain & rehab ex door.
8	2'-6"	6'-8"	Single Door		Retain & rehab ex door. Treatment A
9	2'-6"	6'-8"	Single Door		Retain & rehab ex door. Treatment A
10	2'-6"	6'-8"	Single Door		Retain & rehab ex door. Treatment A
11	2'-6"	6'-8"	Single Door		Retain & rehab ex door. Treatment A
12	2'-6"	6'-8"	Screen door		
Grand total: 11					
DOOR TREATMENT A: WHERE AN OPENING IS TO BE WIDENED AT AN EXISTING DOOR, RETAIN THE EXISTING DOOR AND WIDEN IT BY ADDING WOOD AT THE EDGES. FOR EXAMPLE WHERE ADDING 4 INCHES IN WIDTH TO A 32" WIDE DOOR, ADD A TWO INCH WIDE STRIP TO BOTH SIDE EDGES OF THE EXISTING DOOR TO MAKE A 36" DOOR.					



1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



AREA SUMMARY

CONDITIONED AREA	T.O. SUBFLR 1	1111 SF
CONDITIONED AREA	T.O. SUBFLR 2	509 SF
		1620 SF

ROOM FINISH SCHEDULE

Number	Name	Ceiling Finish	Wall Finish	Base Finish	Floor Finish
101	SCREEN PORCH				
102	RECEPTION				
103	SERVING KITCHEN				
103B	CLOS.				
104	NORTH ADDITION				
105	SOUTH ADDITION ENTRY				
106	UNISEX H/C RESTROOM				
107	UNISEX RESTROOM				
201	HALL				
201	STAIR				
202	OFFICE				
203	OFFICE				
204	OFFICE				

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Windsor - Eaton House

130 North 5th Street, Windsor, Colorado 80550

Revision Schedule

Number	Date

date: 9-15-2022

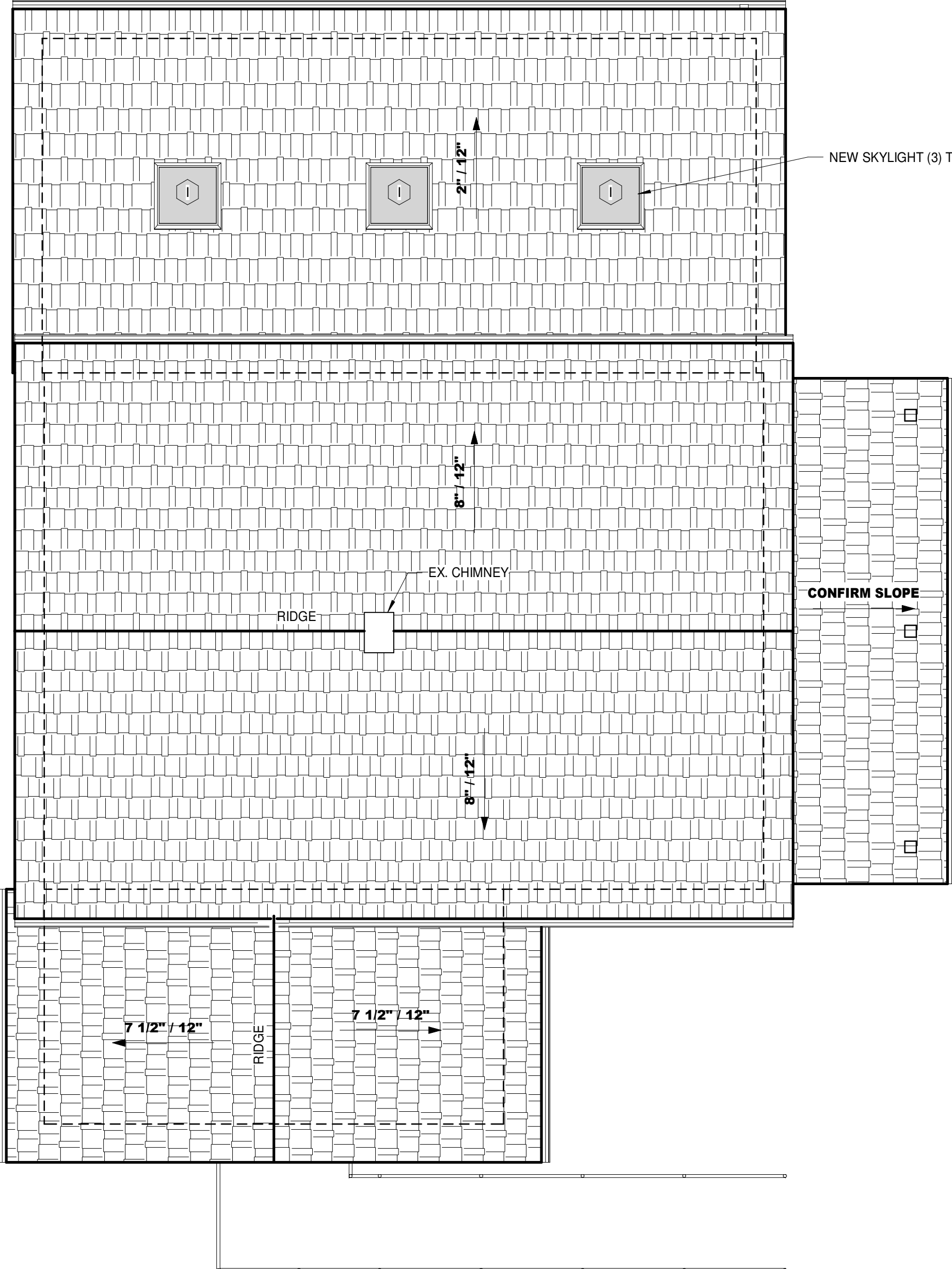
drawn: DOS

checked: DRB

FLOOR PLANS - NEW

A-2.2

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1 ROOF PLAN
SCALE: 1/4" = 1'-0"



EATON DETAILED WORK DESCRIPTION

SITE

Grading: Upon completion of the work the gradient at each elevation shall be amended to provide a minimum 5% slope away from the building for ten feet out to allow for drainage. Where the ten feet is not available, drainage shall be provided by a grass lined surface swale.

The south portion of the site, between the building's east elevation and the driveway, shall be raised sufficiently to allow for a south entry ramp between the edge of the driveway and south addition entry door per the site plan. Note the landing at the door at which the ramp will terminate.

MAIN STRUCTURE: FOUNDATION, EXTERIOR WALL MASONRY, EXTERIOR WALL WOOD.

Stone Foundation Wall: The west wall of the building indicates the effects of on-going settlement. Repairs to the foundation wall and its underpinning are specified and after the underpinning portion of the project is completed, the brick masonry wall from foundation to upper windows is to be addressed.

The underpinning shall be done in series of three sections of 6'-9" length, noted as Section A section B and Section C. Each section is further divided into three units of 2'-3" in length. These units shall be of a thickness of 12 inches with two #4 rebars top and bottom. The unit shall extend approximately three inches into the interior of the stone masonry wall to a line approximately three inches out from the exterior face of the stone. The reinforcing bars shall be extended beyond the termination faces of the unit to thereby connect with the next unit in line thereby overlapping some 12 inches. Section A.1 can be executed at the same time as B.1, and C.1. Similar sequencing shall be followed for the other section/units. (See FNDN UNDERPINNING details on SHEET A-5.2)

Note: a previous underpinning project was completed in the south sector of this west wall and the work then completed has failed to fully support the wall above. This repair is of short distance and shall be removed as part of this project.

Brick Masonry Walls

North wall; Windows extension:
After the underpinning, and the removal of the cabinetry of the interior face of the wall in the kitchen, the two first story windows will be extended in height and detailing to match the height and detailing of the upper story two windows of this elevation.

West wall; Pointing/crack stitching;

Removal of incorrect repair mortar, loose mortar, and mortar at cracks and one foot beyond the edges of cracks (each way). Removal shall be to a minimum of 1.25 inches. New pointing mortar shall be as specified and in compliance with the results of the mortar testing as specified for pointing mix and procedure. At the areas of the cracks two stainless steel all thread of 1/4 inch diameter shall be embedded in each bed joint across the crack extending, in every third bed joint, and extending a minimum of one foot beyond the crack. Three bed joints at minimum are so treated at each crack; adjust spacing to achieve this minimum. Pointing over the all threads shall use the same match mortar mix; bed the deeper of the two rods in mortar, place more mortar over it, then install pointing mortar to the surface, thereby fully embedding both rods in the joint. The joint profile shall match the existing original.

Helix placement shall be completed, driven in a staggered pattern at 2 foot on center in the zone between the header courses, which are at every eighth course.

Northwest Corner; brick turning;

The bricks of the corner exhibit damaged outer corners. Turn the bricks to expose the sound inner corners so as to be the exposed outer corner.

South and east walls; new windows to be installed;

As seen on the plans, a new window will be installed at the second story in each of the corner walls. These windows will match the characteristics of the existing window except that the masonry of the window head will be supported by a steel lintel of (2) 3" x 3" x 3/16" steel angles back to back instead of a jack arch.

Brick Masonry coating;

The brick currently exhibits a coating of weathered paint. At this time all of the paint will not be removed, rather the loose paint will be removed. Rather, loose paint will be removed by means and methods chosen to cause little or no damage to the brick. These methods and products shall be tested first, a test program being created by the contractor and the Architectural Conservator. After the testing program, the preferred method of deteriorated paint removal will be selected. Subsequently, old loose paint shall be removed, the paint type and manufacturer selected, and the building repainted.

WOOD

Wood: Shingles at Gable Ends;

Vertical 1x6s close in the area between the top of brick wall and underside of roof deck; the top section of the gables. In the darkened attic space, light can be seen passing through the walls. Some wood shingles require replacement, the assumed quantity is 20%. However, given the twin needs to keep out wind driven water and remove access pathways to animals (bats/birds/insects) remove and conserve shingles, cover the planks with sheet metal, cover the sheet metal with WR Grace Ice and Water Shield, reinstall historic shingles intermixing with the required new replacement shingles, and repaint in the historic colors per the paint report and specifications.

Wood Eaves assembly: Due to the height above the ground, the condition of each elements in the eave assembly has not been assessed, upon the assessment by the contractor the Architectural Conservator will determine repair scope and replacement scope. The unit price schedule for the in-kind replacement will be used.

NORTH ADDITION

The north addition will be comprehensively reconstructed: roof framing additions, skylights added, windows rehabilitated/newly reinstalled, (5) new windows, new door, foundation strengthening/repair, exterior wall strengthening and repair, rehabilitated siding/trim, new interior finishes, new lighting and electrical.

Roof Framing

The existing rafters run from the north wall top plate to the brick wall (north) of the house where the rafter ends sit on the top edge of a plank fastened into the masonry wall by bolts. Some of the rafters are split and some have been notched. The split rafter is likely indicative of overloading for the existing rafter size. All of these rafters will be sistered with a 2x8" dimension lumber to length, screwed with 2.5 inch GRK screws in a staggered pattern at 16 inch centers and glued with Titebond III. The ceiling and associated ceiling joists are to be removed. The new ceiling will be drywall over the rafters with R-38 polyisocyanurate spray-in foam insulation.

Additional framing will be required in association with the installation of the three new Velux skylights as seen on the plans. The size selected will be of a standard dimension. The required framing connectors are specified on the structural drawings.

Wall Framing

An exposure window was cut in the east wall to gain some understanding of the framing and its condition, respectively 2x4s, lapped siding, variable condition (rotted to sound). This wall will need to be opened up to both insulate and install fenestration: west side door, west side/east side windows, and (3) windows at equal spacing in the north wall. Deteriorated existing framing will need to be replaced. Any deteriorated sheathing/siding will likewise need to have the deteriorated portions replaced in-kind.

Exterior Wall Coverings of Wood

The exterior walls (east/west) are covered by wood lap siding and on the north elevation, wood sheet goods. The two issues are authenticity and condition. The lapped siding appears to be either from the period of the addition's construction (unknown) or was recycled material. Its condition is poor and the paint is lead-based. The wood sheet goods are not from the period of original construction but these panels are in good condition.

Wood trim

Deteriorated trim is to be replaced: corner boards, fascia, casing, and similar.

Foundation

On the basis of an excavation beside the foundation preliminarily the addition may be founded on a concrete slab on grade. Foundation wall repairs is given as an allowance item.

North Addition Interior finishes

Existing finishes shall be removed for the walls and ceiling. The south wall of the space will be exposed brick, cleaned of dirt and tar. The three other walls shall be painted drywall, and likewise the ceiling shall be painted drywall.

The hardwood floor shall be refinished: sanded, filled, sanded, and two coats of UV resistant clear.

Electrical Systems and Lighting

All new wiring per the plan. Also comprehensive new lighting color corrected to allow for art classes and best representation of true colors, and display on the south brick wall.

Heating/cooling

Mini split system as provided in the entire building.

EAST ADDITION, PORCH / ENTRY

Walls;

The walls will be amended from existing: remove upper portion and restore screens, disassemble lower portion, assess conditions of pieces and configuration, rehabilitate lower portion to match original with new parts as required. This is an allowance set aside item. The south end will not be open, it will match the existing north end in extent and the components will match the uncovered items.

The entry to the porch shall be centered on the entry door of the main building. Related access on the site to be concrete walk and stairs with handrail.

Deck (AKA porch floor)

Install linoleum flooring

Ceiling

Repair to receive paint coatings.

Brick wall

Treat the same as if it was a fully exposed exterior wall (see above at Exterior Brick Masonry Wall)

Outer Porch Wall finish

Paint interior and exterior surfaces to match original, per the paint analysis results in the report.

Doors

South door on to porch, and entry door into living room from porch are the two existing doors. Both will be removed, stored off-site as directed by the Owner. The new two doors shall be from the porch entry into the area of screened in porch, via a new screen door of design to match the Period and supplied by the Owner. The entry door to the main building shall match the Period and be a solid wood entry door. See the door schedule.

Electrical Systems and Lighting

See the lighting schedule and electrical plan for locations light fixtures and weather outlets that are water resistant, dust proof, GFCI, stainless steel, and lockable.

SOUTH ADDITION

Revised basement entry;

Install a new basement access door in the floor, of aluminum, pre-finished and either counter balanced or with opening force reduced by spring assist. New finishes per the finish schedule. Entry door revisions per size and hardware as shown in the plans.

East Room: Install new bathroom, per the plan, and new fixtures and finishes.

West Room: Install new Accessible bathroom, per the plan, and new fixtures and finishes.

INTERIOR

First story kitchen; remove existing countertops and cabinets. Remove and set aside for potential re-use the two compartment stainless steel sink. Remove resilient sheet floor, assess condition .

Provide new cabinets and countertops per the design drawings. Provide new equipment: stove top, microwave/convection oven, refrigerator/freezer, garbage disposal and 18 inch wide dishwasher.

First story reception and office; New entry door, see porch above. The existing north wall will be removed and a new wall built at a location further to the north allowing a revision of the staircase to bring it into code compliance: riser heights, step depth, uniformity of riser height, width, and railings. As a part of this project the stairs will extend into the room a short distance. A safety rail will be placed to cross the window given the reduced distance between stair treads and glass. The rail may be part of the railing system.

Install new finishes per the finish schedule.

Install electrical system per the electrical plans and lighting and lighting per the fixture schedule.

New Staircase and upstairs hall; Modifications per the plan. The upstairs hall will be widened by moving the west wall back to the west 5.5 inches. New stairs will be well lit, and the tread surfaces shall have non-slip rubber tread covers or equivalent.

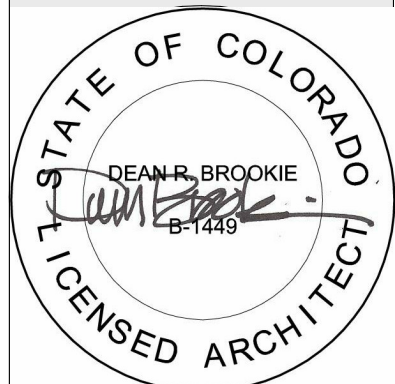
Second floor overall; Rehabilitate per the finish schedule, lighting and electrical per the plans to fulfill its re-use as offices.

Heating and Cooling Systems: Per the plans.

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CD SET

Windsor - Eaton House

130 North 5th Street, Windsor, Colorado 80550

Revision Schedule

Number	Date

date: 9-15-2022

drawn: DOS

checked: DRB

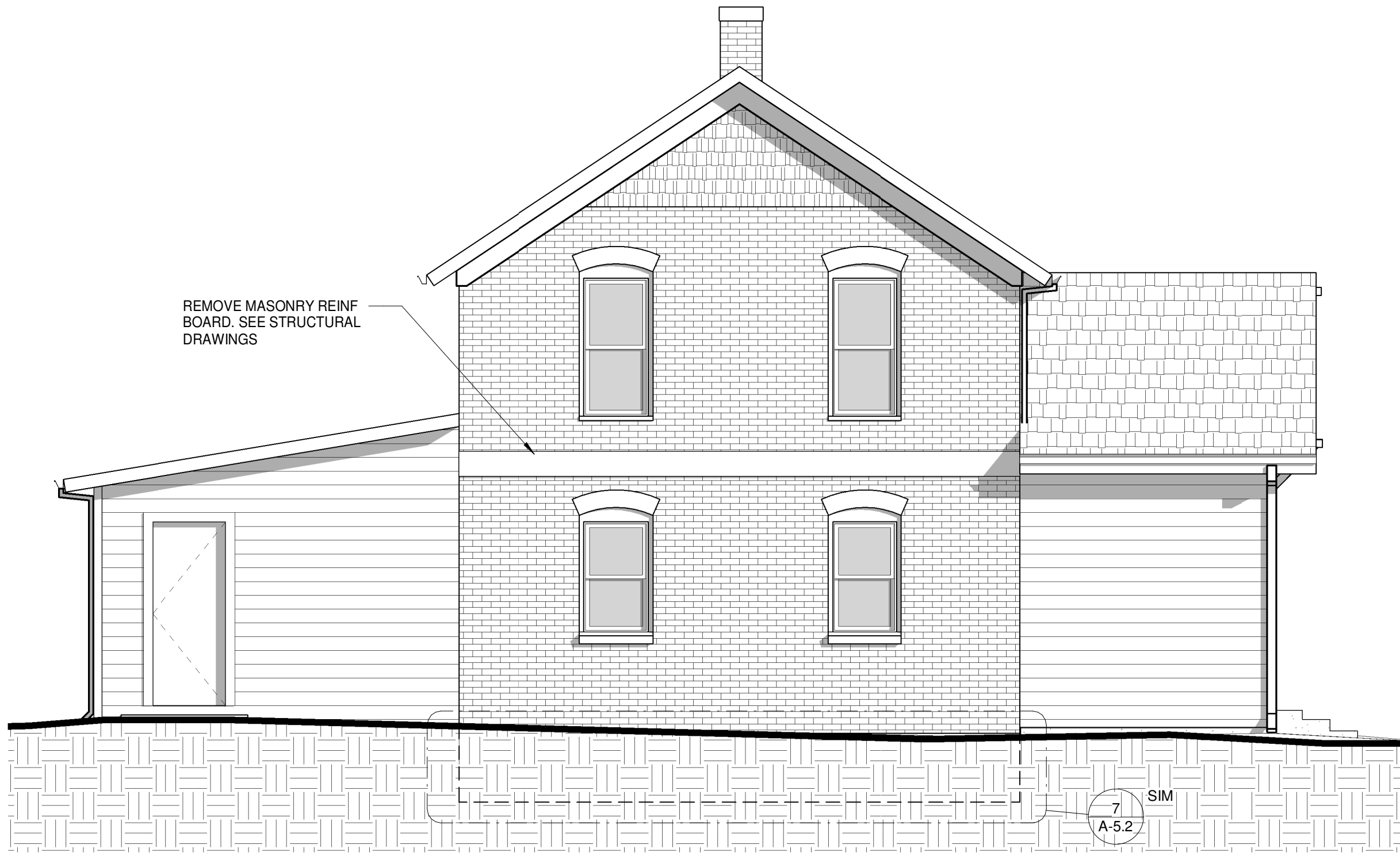
ROOF PLAN, WORK
DESCRIPTION

A-2.3

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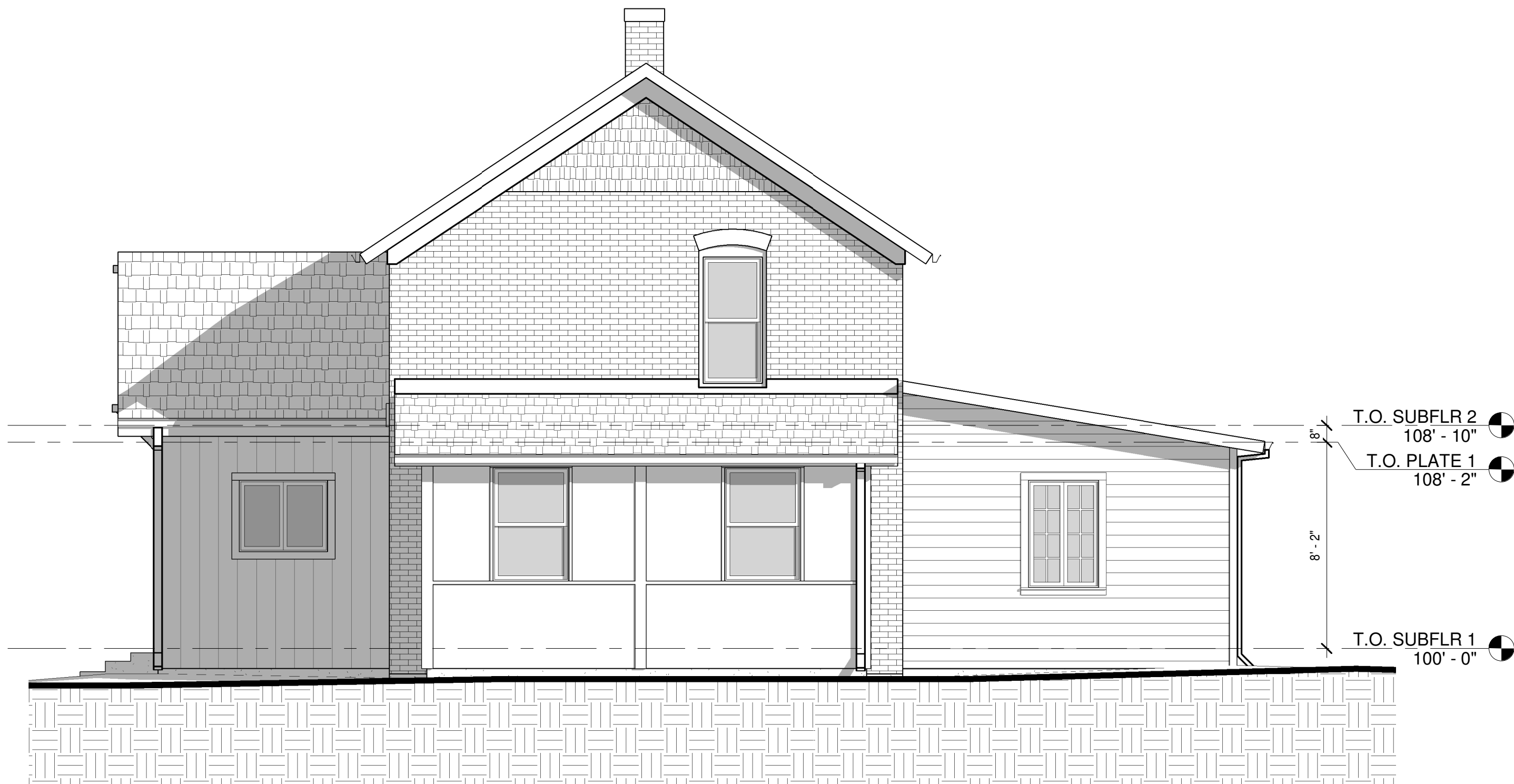
4 EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

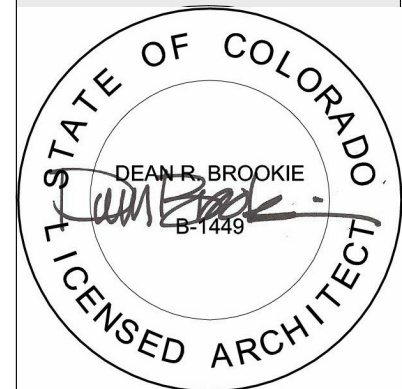


1 EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"

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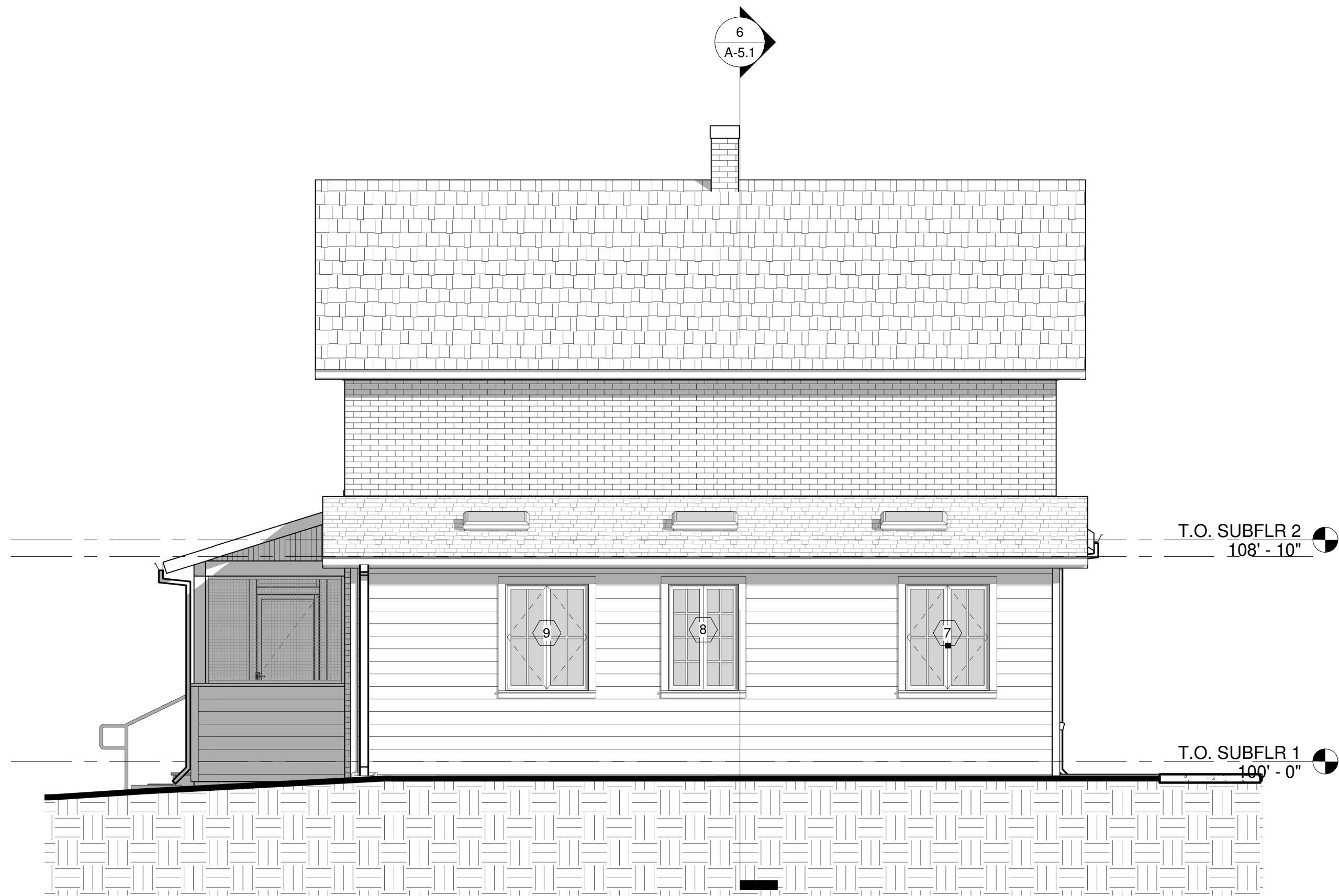
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date: 9-15-2022
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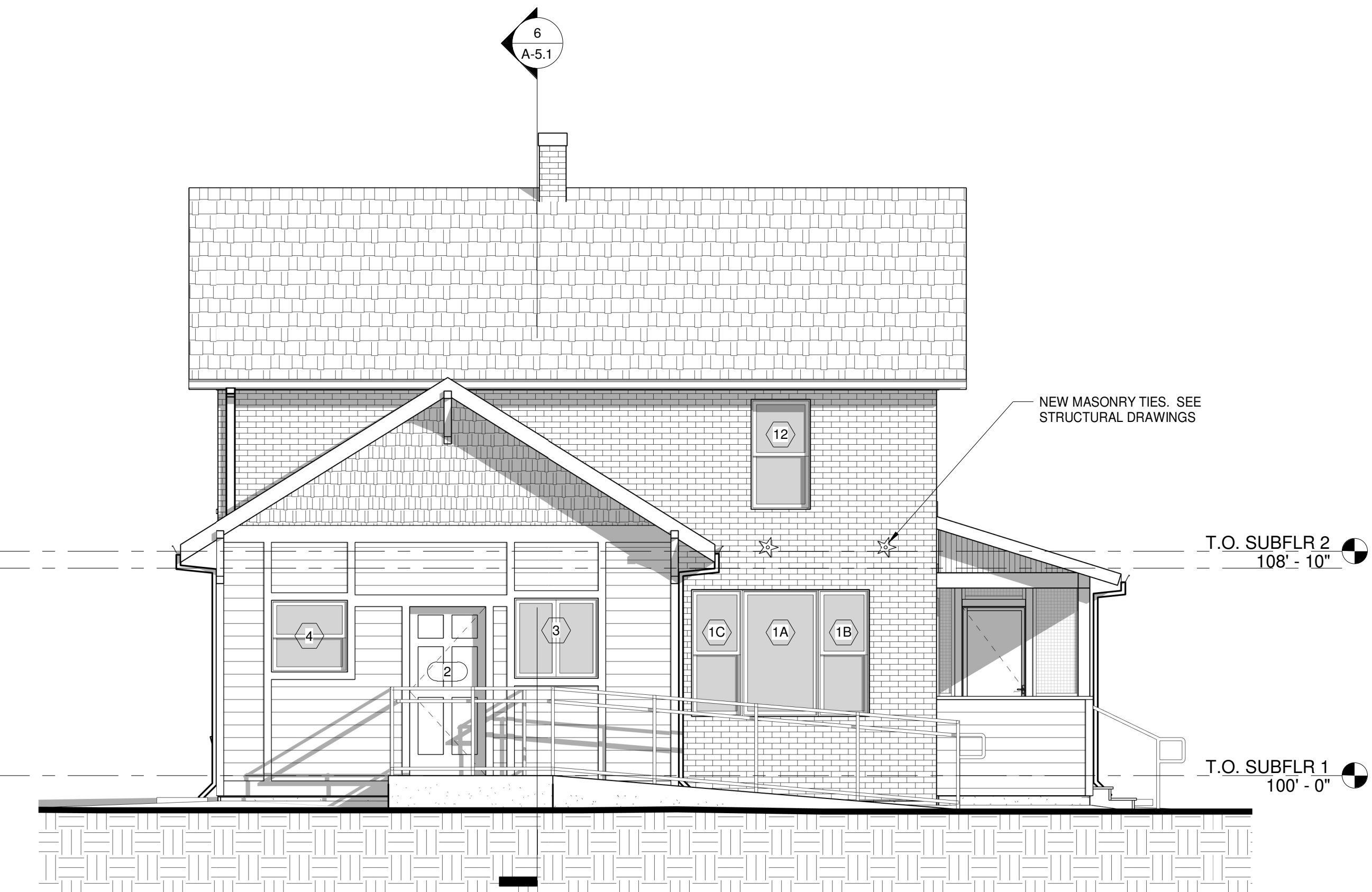
ELEVATIONS -
EXISTING

A-4.1

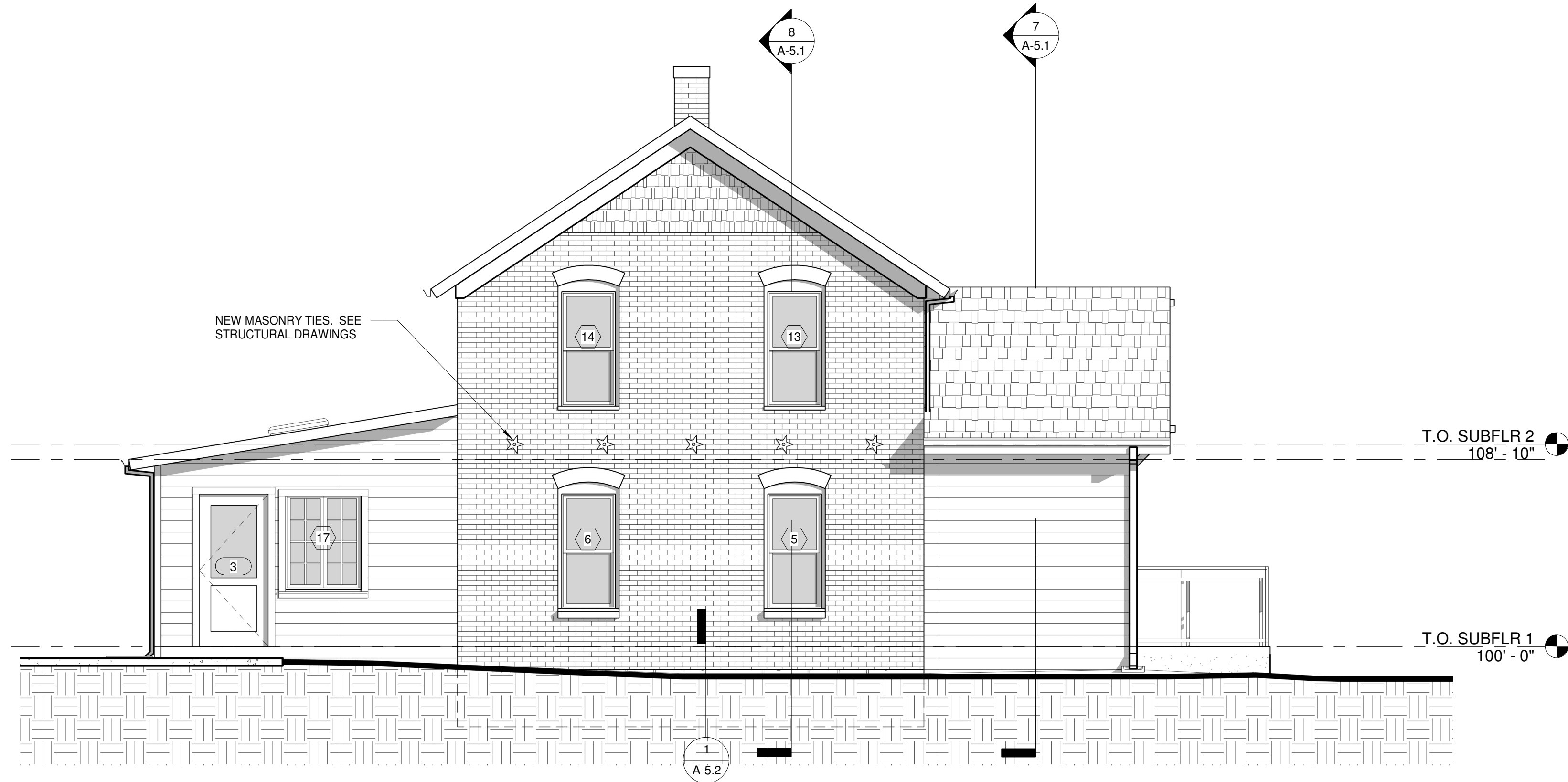
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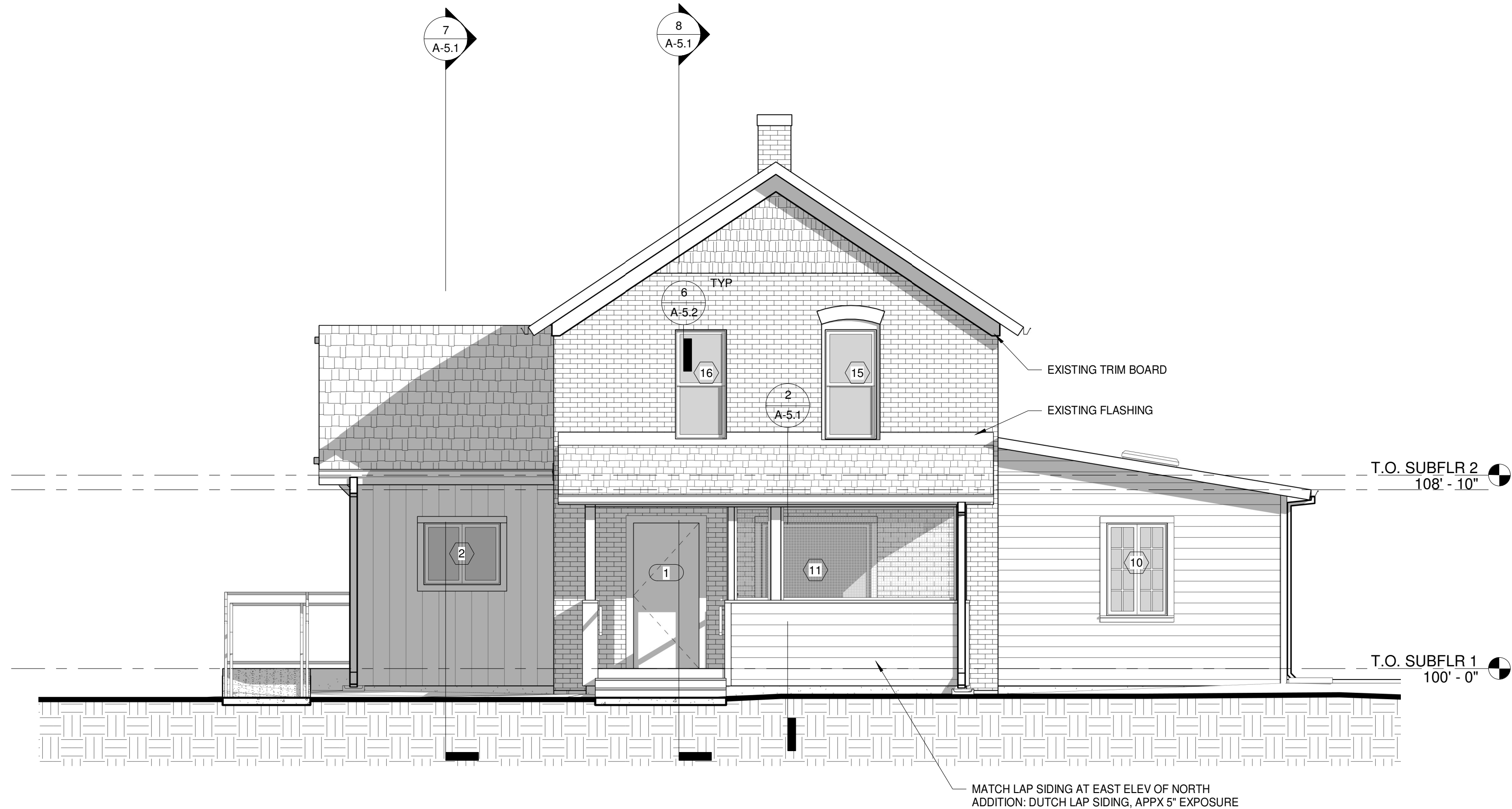
4 NEW NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 NEW SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 NEW WEST ELEVATION
SCALE: 1/4" = 1'-0"

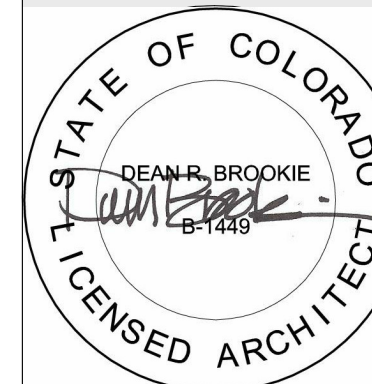


1 NEW EAST ELEVATION
SCALE: 1/4" = 1'-0"

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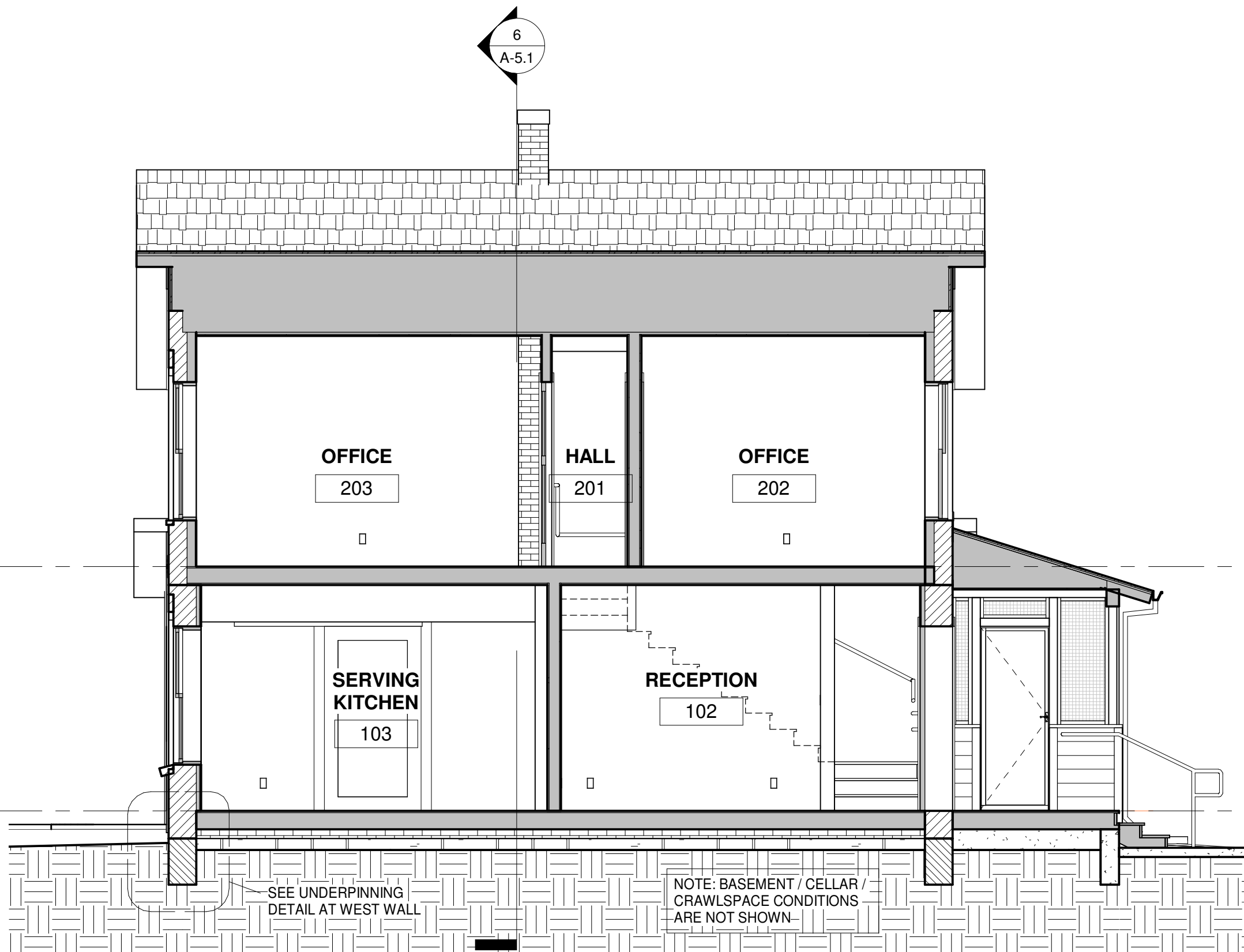
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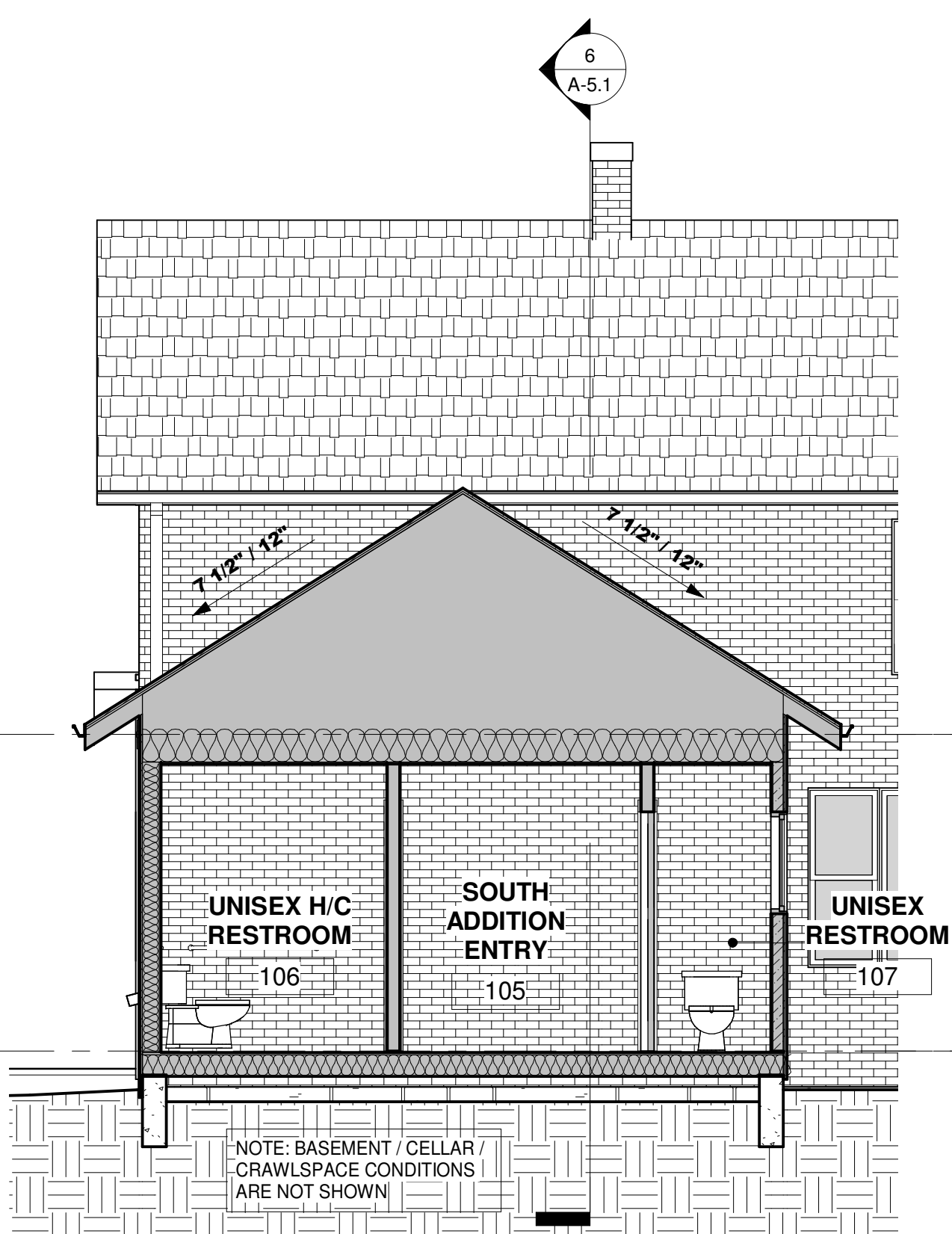
ELEVATIONS - NEW

A-4.2

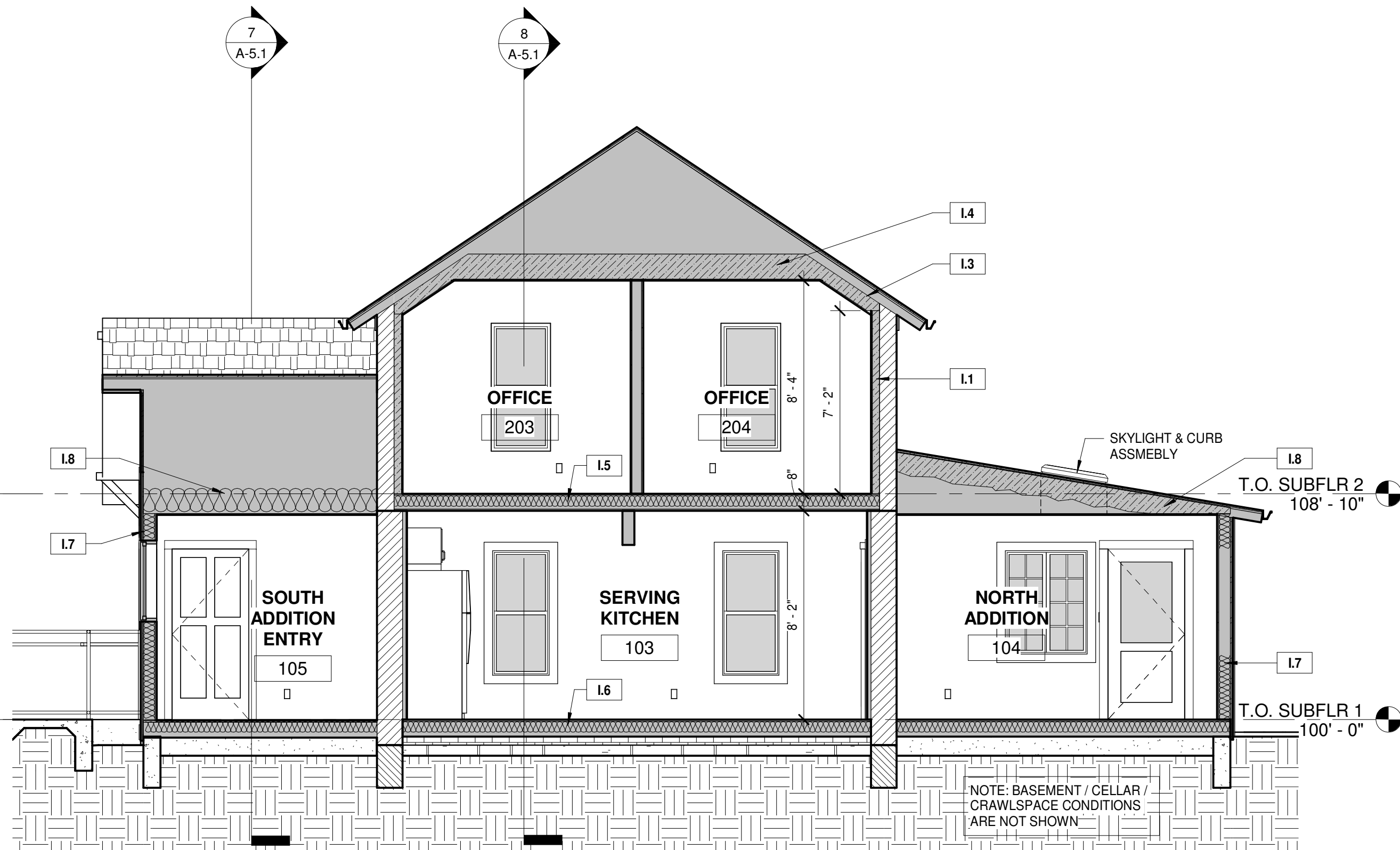
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8 BUILDING SECTION A
SCALE: 1/4" = 1'-0"



7 SECTION C
SCALE: 1/4" = 1'-0"

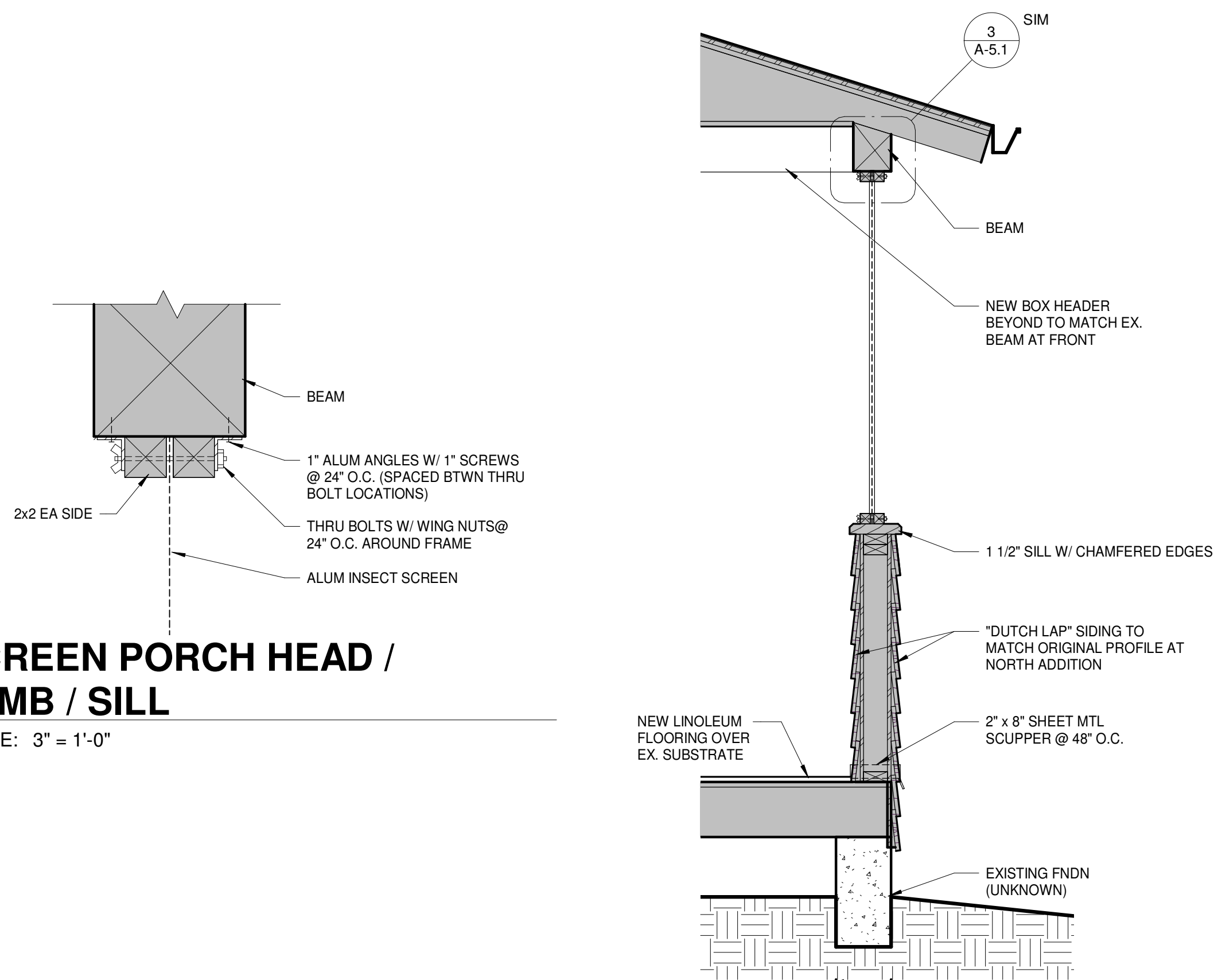


6 BUILDING SECTION B
SCALE: 1/4" = 1'-0"

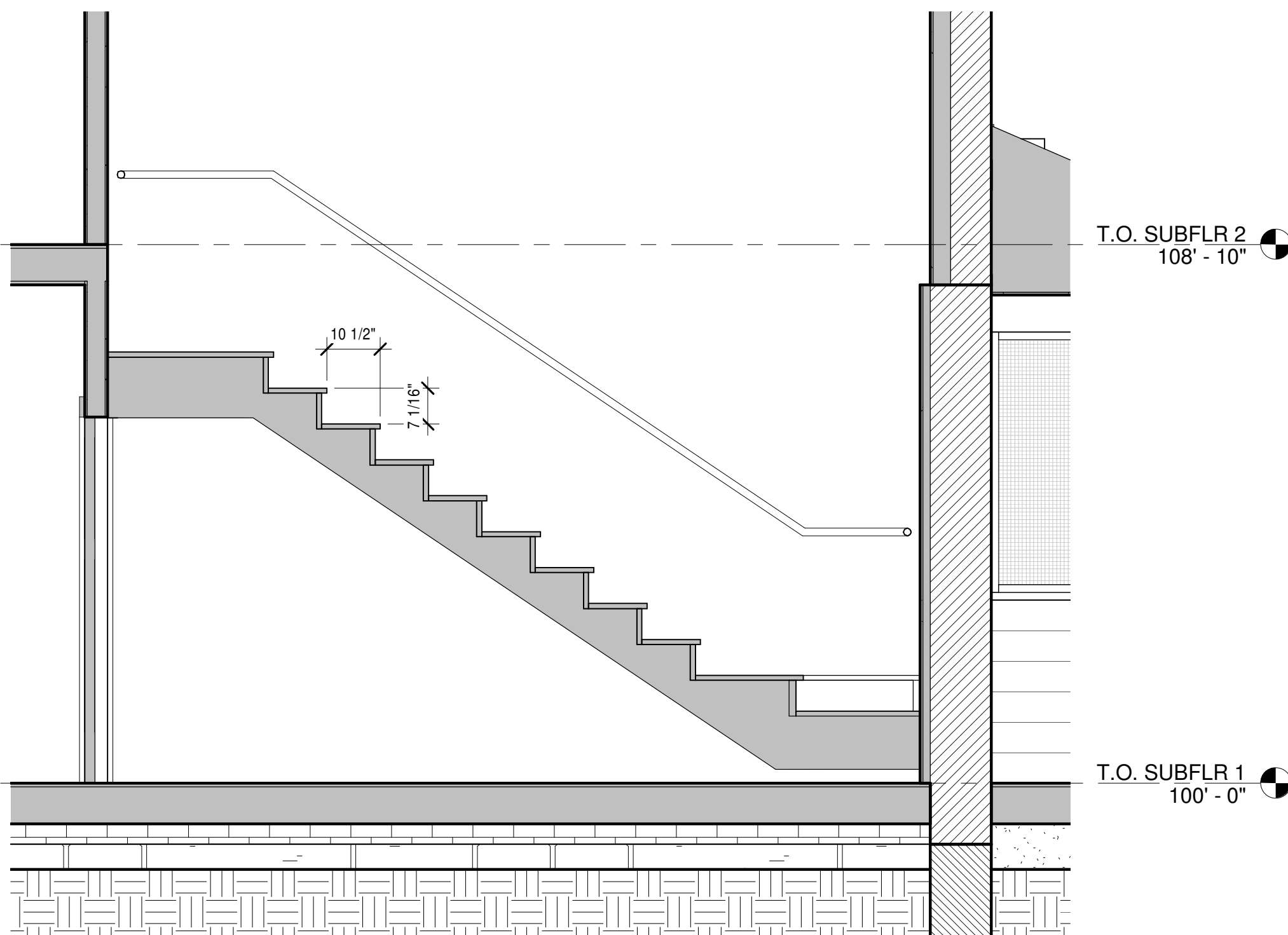
FURRING & INSUL KEYNOTES

NOTE: SEE DETAILED WORK DESCRIPTION SHEET A-2.3 FOR FULL LIST OF WORK ITEMS

- L1** FURRING / INSUL
 - INSTALL 2X4 FURRING WALL ON INTERIOR OF MASONRY WALL
 - INSULATE W/ 3 1/2" FOAM ISOCYANURATE
 - 1/2" TYPE-X GWB
 - EXTEND WINDOW JAMB AS NECESSARY
- L2** FURRING / INSUL
 - DEMO (E) 2" FURRING AT MASONRY WALL
 - INSTALL 2X4 FURRING WALL ON INTERIOR OF MASONRY WALL
 - INSULATE W/ 3 1/2" FOAM ISOCYANURATE
 - 1/2" TYPE-X GWB
 - EXTEND WINDOW JAMB AS NECESSARY
- L3** 2ND FLOOR SLOPED CEILING: R-28 FOAM ISOCYANURATE
- L4** 2ND FLOOR FLAT CEILING: R-44 FOAM ISOCYANURATE
- L5** 2ND FLOOR: R-19 SOUND BATTS
- L6** 1ST FLOOR: R-30 BATTS
- L7** EXTERIOR FRAMED WALLS
 - 5 1/2" FRAMING: R-20 BATT INSUL
 - < 5 1/2" FRAMING: R-20 MIN POLYISOCYANURATE SPRAY-IN FOAM INSUL
- L8** ROOF
 - <15" VERT HEEL SPACE R-38 POLYISOCYANURATE SPRAY-IN FOAM INSUL
 - >15" VERT HEEL SPACE R-38 BATT INSUL



2 SCREEN PORCH SECTION
SCALE: 3/4" = 1'-0"

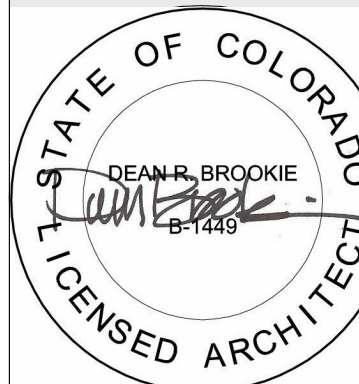


1 STAIR SECTION
SCALE: 1/2" = 1'-0"

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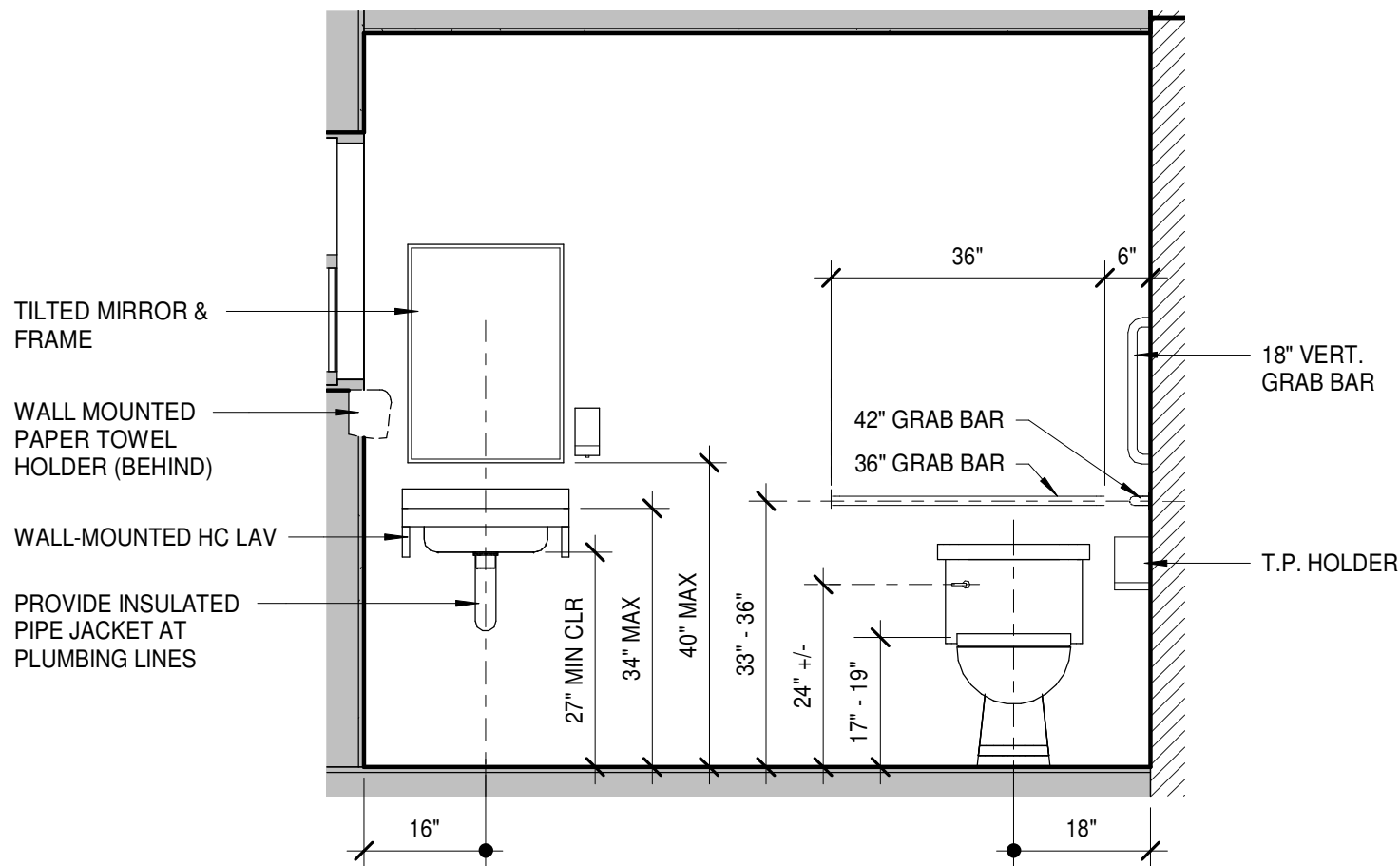
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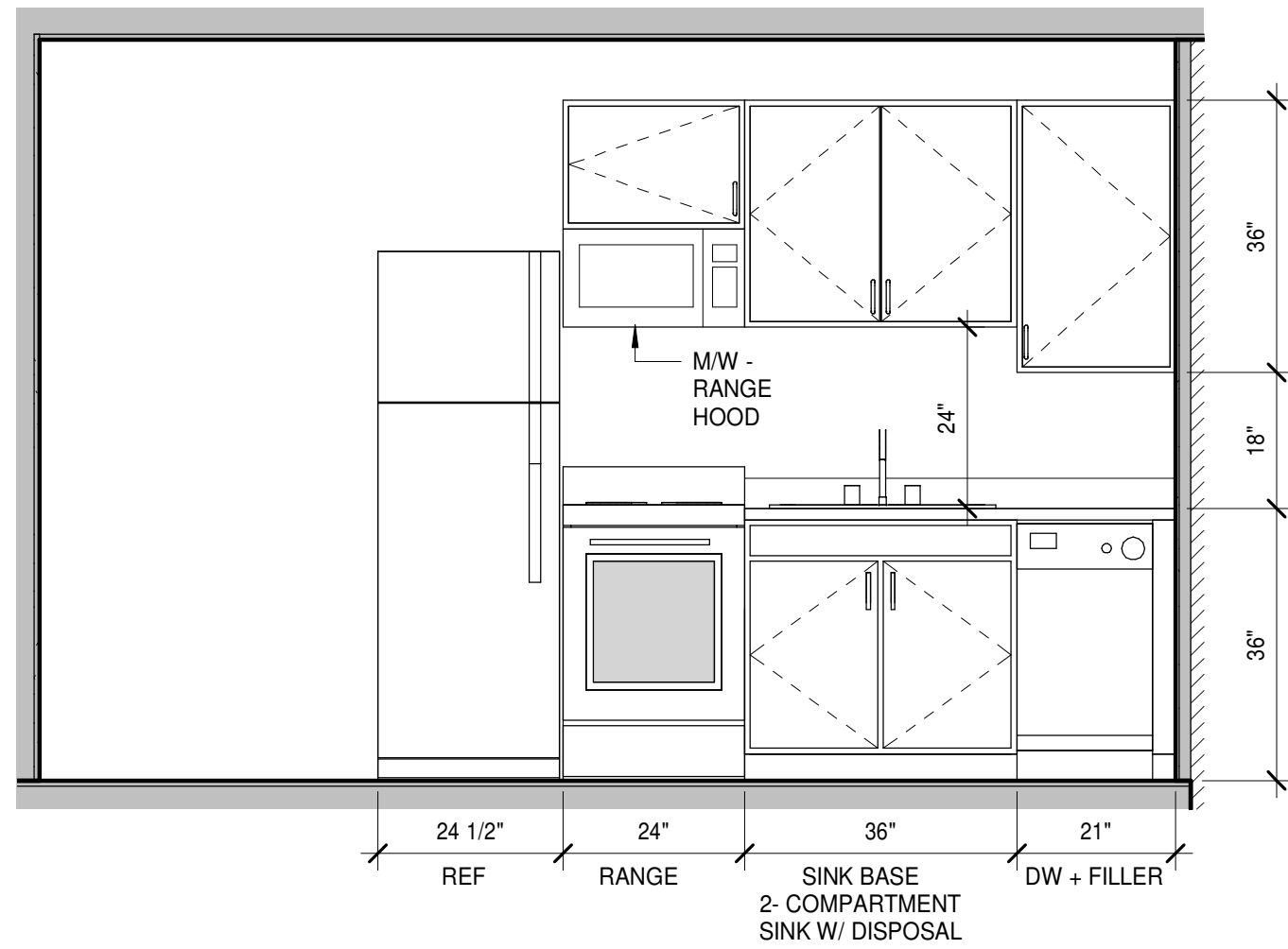
BUILDING SECTIONS

A-5.1

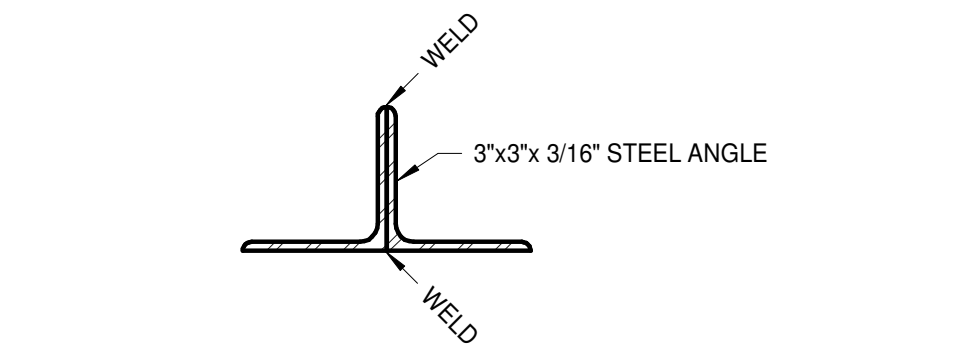
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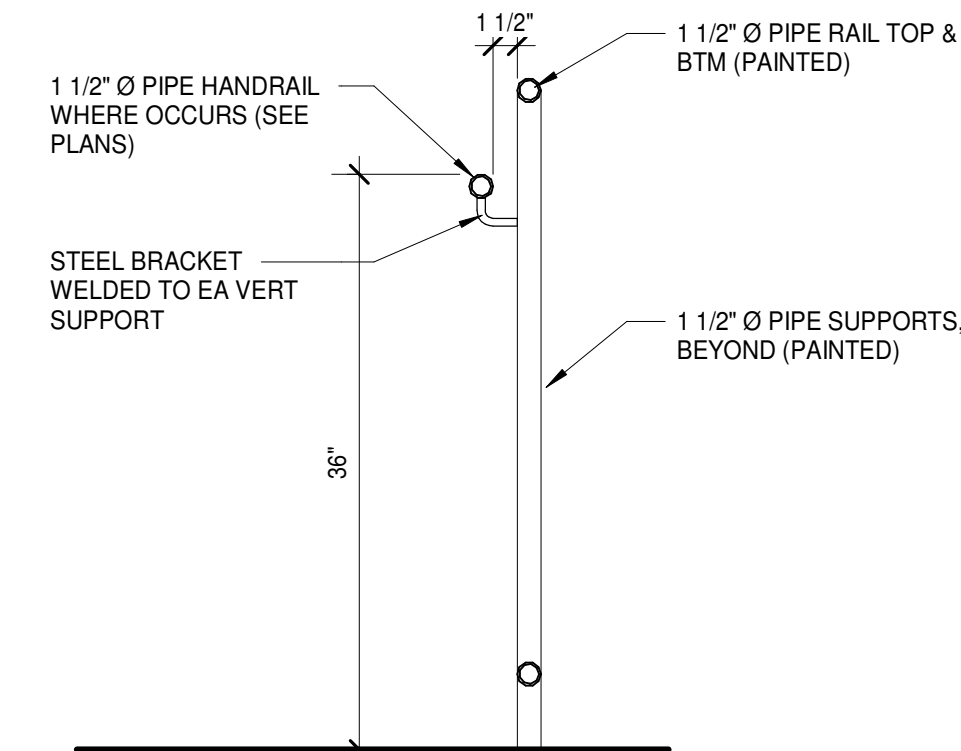
3 H/C BATHROOM ELEVATION
SCALE: 1/2" = 1'-0"



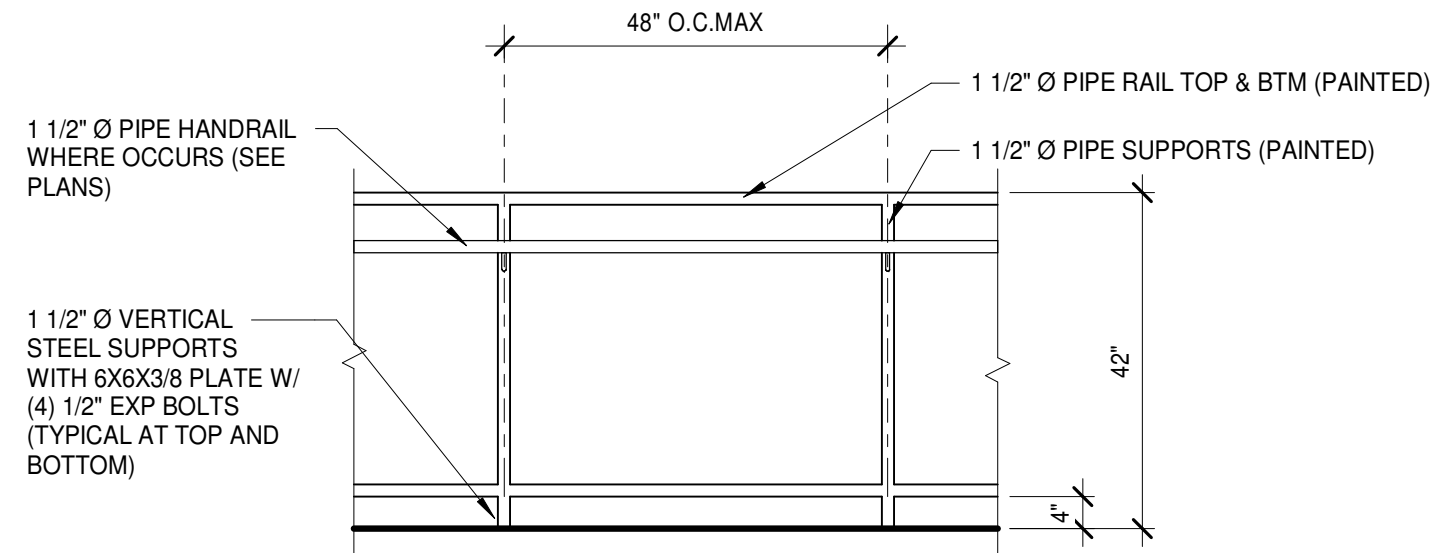
2 KITCHEN ELEVATION
SCALE: 1/2" = 1'-0"



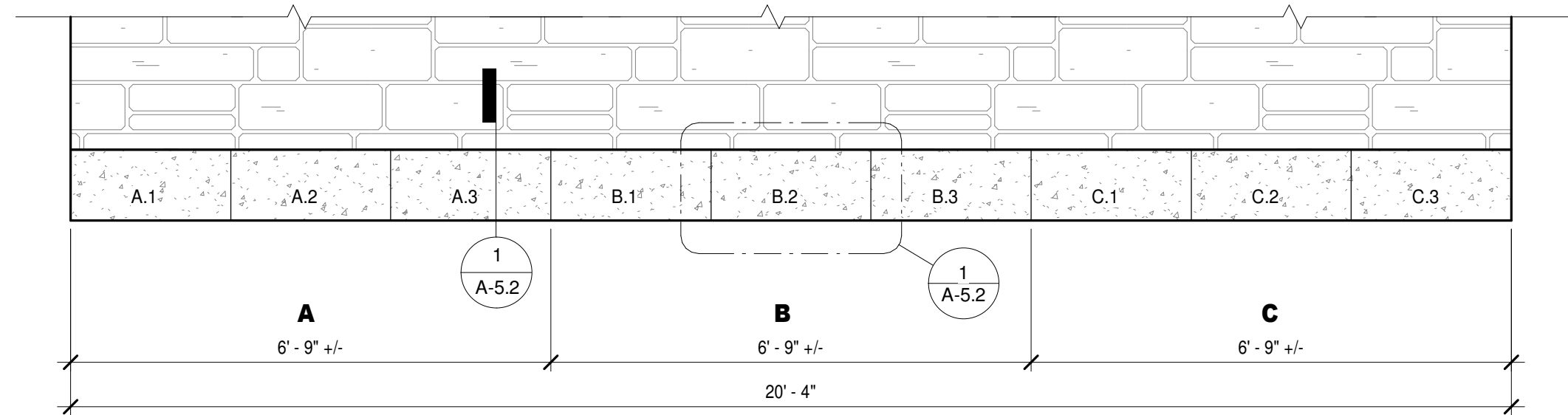
6 LINTEL AT NEW WINDOWS IN BRICK WALL
SCALE: 3" = 1'-0"



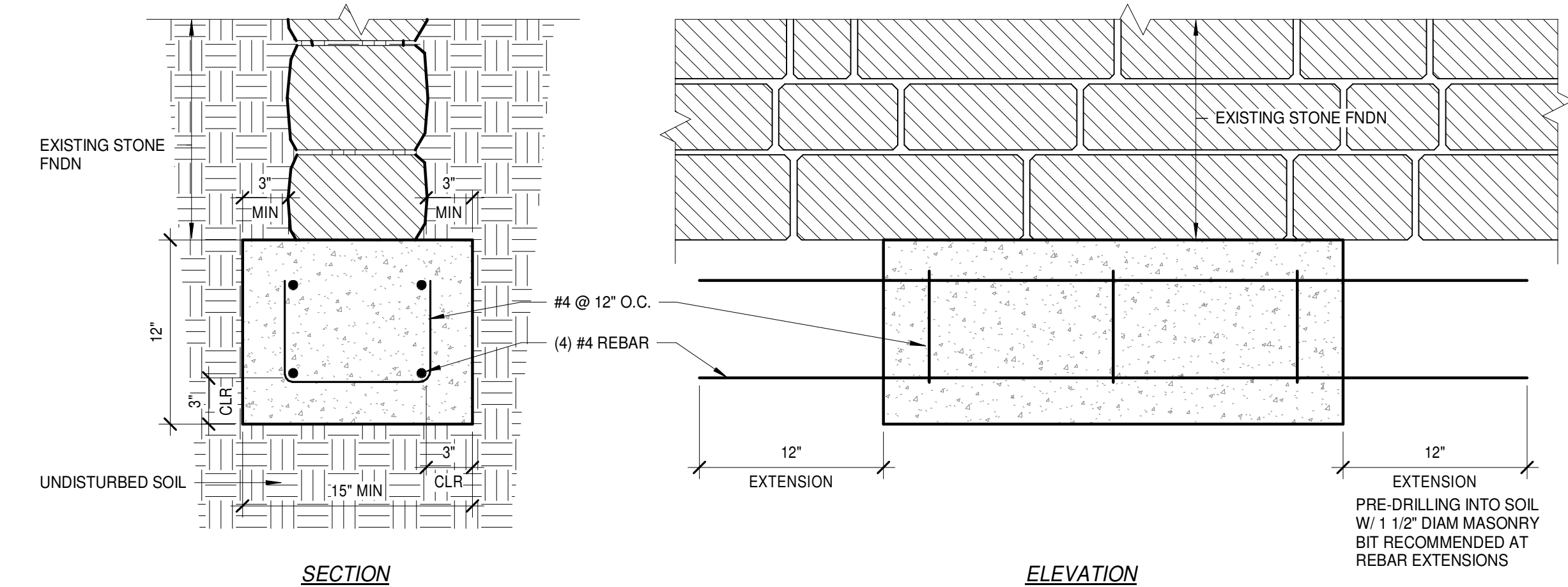
5 EXTERIOR GUARDRAIL SECTION, TYP
SCALE: 1" = 1'-0"



4 EXTERIOR GUARDRAIL ELEV, TYP.
SCALE: 1/2" = 1'-0"



7 FNDN UNDERPINNING ELEVATION
SCALE: 1/2" = 1'-0"



1 FNDN UNDERPINNING @ WEST WALL
SCALE: 1 1/2" = 1'-0"

Number	Date

date: 9-15-2022
drawn: DOS
checked: DRB



MEMORANDUM

Date: July 10, 2024
To: Historic Preservation Commission
From: Kimberly Lambrecht, Senior Planner
Re: Discuss Preservation Plan Action Items and Implementation Strategies - Continued from June 12, 2024 meeting.
Item #: D.2.

Background / Discussion:

The ***Historic Preservation Master Plan*** outlined a series of Goals and Policies to safeguard the historic heritage, architecture and stories of the Town. In order to achieve success and ensure progress, the Plan's goals and policies have Action Items which align with said goals and policies. These action items have a series of recommendations which support the tasks, and include timelines for prioritization and implementation. In an effort to keep the Plan active, energized and engaging, the Commission should consider a discussion that more formally outlines those Plan items that will best respond to the preservation needs of the community, and develop a more fine tuned implementation matrix, specific to Windsor's needs.

Please refer to the attached Action Item Matrix, and cross-reference to the entire Plan.

Financial Impact:

Relationship to Strategic Plan:

Recommendation:

CC:

Scott Ballstadt, Director of Planning

Attachments:

1. Pages from Windsor Preservation Plan - FINAL_11.1.2023 - ADOPTED (Action Items Matrix)

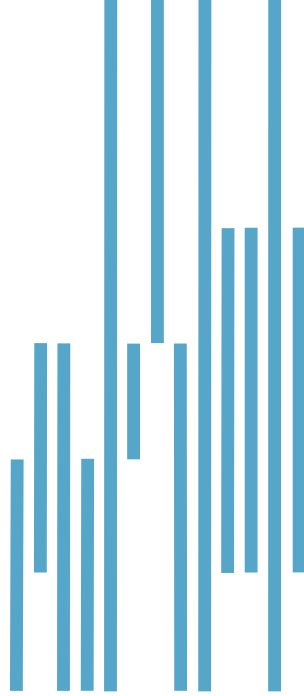
Action Item Matrix

Town of Windsor: Historic Preservation Master Plan

Near Term ← → Long Term

Task Area One - Community Survey and Education

- 1.3b Create an Educational Toolkit
- 1.3c Prioritize Downtown as a Vibrant Core
- 1.3d Maintain the Main Street Community Designation
- 1.3e Survey Residential Buildings and Consider Protecting Neighborhood Districts
- 2.3a Engage a Professional Historian to Document and Evaluate Historic Properties
- 2.3b Apply for State and National Registration for Eligible Sites
- 2.3c Prioritize the Removal of Old-World Motif from Downtown Facades
- 4.1b Establish a Robust Information Program for Rehabilitation/Restoration
- 4.3d Support/Encourage "Saving Places" Colorado Preservation Conference Attendance
- 4.3e Provide Education Opportunities for Elected Officials/Town Staff hosted by the HPC
- 4.3f Create a Guide to Windsor's Working-Class Architecture
- 5.1a Update and Improve Existing Surveys
- 5.8 Complete a Historic Context Study



Task Area Two - Identify Additional Historic Resources and Establish Historic Districts

- 5.2a Begin Local Landmark Process for Properties Already on National and State Registers
- 5.7 Consider the Establishment of Historic Districts
- 5.1c Increase the Number and Diversity of Individually Landmark Properties



Task Area Three - Branding and Community Outreach

- 1.3a Create a Cohesive Digital/Print Style for Outreach Purposes
- 4.2a Facilitate the Launch of a Branding Campaign for Historic Preservation
- 4.3a Engage in Other Education Activities for Residents
- 4.3b Develop a Unified Wayfinding and Interpretive Signage Design
- 4.3h Expand Windsor Online Walking Tour
- 4.4a Reactivate Town Preservation Awards Program and Create Page on Website



Task Area Four - Improvements to the City's Preservation Program

- 3.1a Collaborate with the Downtown Development Authority
- 4.1a Promote State Historic Tax Credit Programs
- 4.1c Implement a Development Program for Certified Neighborhood Organizations
- 5.4a Create/Circulate HPC Design Standards and Review Criteria to Residents
- 5.4b Update Historic Preservation Professionals/Groups List for Historic References
- 5.5a Streamline a Review/Revise Process for Current Landmark Eligibility Criteria





MEMORANDUM

Date: July 10, 2024
To: Historic Preservation Commission
From: Kimberly Lambrecht, Senior Planner
Re: Public Outreach at July 27, 2024 Farmer's Market - Boardwalk Park
Item #: D.3.

Background / Discussion:

The Historic Preservation Commission has secured a table at the Saturday, July 27, 2024, Farmer's Market, which is held from 8:00 am - 12:30 pm, at the Pavillion just off of 5th Street.

- Confirm Commissioners who plan on attending
- Schedule Commissioner shifts
- Staff will set up and take down table

Financial Impact:

Relationship to Strategic Plan:

Recommendation:

CC:

Scott Ballstadt, Director of Planning

Attachments:



MEMORANDUM

Date: July 10, 2024
To: Historic Preservation Commission
From: Kimberly Lambrecht, Senior Planner
Re: Review Future Meetings Agenda
Item #: D.4.

Background / Discussion:

Please see the attached Future Meetings Calendar, for review and comment. Also, review the list of Future Topics so those items can be edited in conjunction with the Action Item Matrix goals.

Financial Impact:

Relationship to Strategic Plan:

Recommendation:

CC:

Scott Ballstadt, Director of Planning

Attachments:

1. HPC Future Meetings Calendar - July 2024



HISTORIC PRESERVATION COMMISSION FUTURE MEETINGS DISCUSSION ITEMS

DATE	TOPIC
July 10, 2024 5:45 pm	Next Priorities from Preservation Plan Discuss Public Outreach at Farmer's Market (July 27, 2024) Laura – Halfway Homestead Update
August 14, 2024 5:45 pm	Discuss list of possible eligible properties
September 11, 2024 5:45 pm	
October 9, 2024 5:45 pm	
November 13, 2024 5:45 pm	Election of Officers
December 11, 2024 5:45 pm	Annual Dinner Meeting

Future Topics:

Educational materials for outreach
Letters to property owners eligible for Local Historic Designation
Outreach to the Poudre Valley Cemetery
Introductory meeting with Windsor Severance Historical Society
Website updates
Windsor Lake – Historical Research – ongoing discussion
Local designations for the First United Methodist Church and the Kaplan-Hoover Site

<u>Upcoming Meeting Dates*</u>		
<u>Wednesday July 10, 2024</u>	5:45 P.M.	Regular HPC Meeting
<u>Wednesday August 14, 2024</u>	5:45 P.M.	Regular HPC Meeting
<u>Wednesday September 11, 2024</u>	5:45 P.M.	Regular HPC Meeting
<u>Wednesday October 9, 2024</u>	5:45 P.M.	Regular HPC Meeting
<u>Wednesday November 13, 2024</u>	5:45 P.M.	Regular HPC Meeting
<u>Wednesday December 11, 2024</u>	5:45 P.M.	Regular HPC Meeting

- * May not include any Historic Preservation Commission (HPC) work sessions which may be requested and may also be scheduled for these dates. Regular meeting dates may be changed to a work session at the discretion of the Chair when no action items are present.