



PLANNING COMMISSION REGULAR MEETING

July 1, 2026 - 7:00 PM

Kyger Room, 200 N. 11th St. Windsor, CO 80550

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Meeting ID: 295 681 680 943 980

Passcode: s8h5Wz3D

AGENDA

A. CALL TO ORDER

1. Roll Call
2. Review of Agenda by the Board and Addition of Items of New Business to the Agenda for Consideration
3. Public Invited to be Heard

Individuals wishing to participate in Public Invited to be Heard (non-agenda item) are requested to sign up on the form provided in the foyer of the Town Board Chambers. When you are recognized, step to the podium, state your name and address then speak to the Town Board.

Individuals wishing to speak during the Public Invited to be Heard or during Public Hearing proceedings are encouraged to be prepared and individuals will be limited to three (3) minutes. Written comments are welcome and should be given to the Town Clerk prior to the start of the meeting.

The Town Board will not respond to any questions or comments made by the public during this section of the meeting, though it will take all input under advisement. If requesting a response from the Town, please leave your contact information with the Town Clerk. The Town Manager or other appropriate staff member will reach out after the meeting to address specific questions or concerns when appropriate.

B. CONSENT CALENDAR

1. Approval of the April 15, 2026, Planning Commission Regular Meeting Minutes - P. Mascarenas, Assistant Town Clerk

C. BOARD ACTION

1. Recommendation to Town Board - Large Retail Establishment Major Site Plan – Jacoby Farm Subdivision 5th Filing, Lots 1, 2 and 4 – Walmart Super Center - Walmart, Inc., Owner; Spencer Hymas, Galloway & Company LLC, Applicant
 - Quasi-judicial action
 - Staff presentation: Kimberly Lambrecht, Long Range Planner

D. COMMUNICATIONS

1. Communications from Planning Commission
2. Communications from Town Board Liaison
3. Communications from Staff

E. ADJOURN

The Town of Windsor will make reasonable accommodations for access to Town services, programs, and activities and will make special communication arrangements for persons with disabilities. Please call (970) 674-2400 by noon on the Thursday prior to the meeting to make arrangements.



MEMORANDUM

Date: July 1, 2026
To: Planning Commission
From:
Re: Approval of the April 15, 2026, Planning Commission Regular Meeting Minutes - P. Mascarenas, Assistant Town Clerk
Item #: B.1.

Background / Discussion:

Financial Impact:

Relationship to Strategic Plan:

Recommendation:

CC:

Attachments:

1. 04.15.26 PC Draft Minutes



Planning Commission Regular Meeting

April 15, 2026 - 7:00 PM

Town Board Chambers, 301 Walnut Street, Windsor, CO 80550

To view Planning Commission meeting broadcasts, visit
www.windsorgov.com/MeetingsOnDemand.

MINUTES

A. CALL TO ORDER

1. Roll Call

Present: Chairman Reddick
Vice-Chair Nader
David Hassard
Ben Kirch
Maxwell Nader
Jordan Spight
John Neal
Victor Tallon (alternate)

Absent: Secretary Kinney

Also Present: Nancy Frase (alternate)
Jason Hallett, Town Board Liaison
Scott Ballstadt, Director of Planning
Carlin Malone, Planning Manager
Sandra Mezzetti, Senior Planner
Kim Mihm, Deputy Town Attorney
Mark Price, Planner II
Rece Lampe, Digital Communications Supervisor
Penny Mascarenas, Assistant Town Clerk

2. Review of Agenda by the Board and Addition of Items of New Business to the Agenda for Consideration

Planning Commissioner Tallon moved to approve the agenda as presented, Planning Commissioner Hassard seconded the motion. Roll call on the vote resulted as follows; Yeas – Timothy Reddick, Victor Tallon, David Hassard, Ben Kirch, Maxwell Nader, Jordan Spight, John Neal; Nays – none; motion passed.

3. Public Invited to be Heard

Chairman Reddick opened the meeting for public comment on items not on the agenda, to which there were none.

B. CONSENT CALENDAR

1. Approval of the April 1, 2026 Planning Commission Regular Meeting Minutes - P. Mascarenas, Assistant Town Clerk
Planning Commissioner Tallon moved to approve the consent calendar as presented. Planning Commissioner Hassard seconded the motion. Roll call on the vote resulted as follows; Yeas – Timothy Reddick, Victor Tallon, David Hassard, Ben Kirch, Maxwell Nader, Jordan Spight, John Neal; Nays – none; motion passed.

Jason Hallett, Town Board Liaison, gave a statement to the Planning Commission:

"Mr. Chair, for the record, I would like to disclose that I am a sitting member of the Town Board and that I am here in my capacity as a non-voting liaison to the Planning Commission. Although I will be present during all public hearings tonight, I will not be giving my opinion or participating in any of the discussions. I will not let tonight's proceedings influence or affect my review of these matters when they come before the Town Board. I will make my decision at the Town Board level based on the evidence presented during the Town Board public hearings."

C. BOARD ACTION

1. Public Hearing - A request for a Conditional Use Permit to allow for the temporary keeping of animals on a lot smaller than 2.5 acres within the Estate Residential (ER) zone district for Westwood Village Subdivision 7th Filing, Lot 16 (636 Southwood Lane) - Adam Luckerth, Applicant/Property Owner

The applicant and property owner, Mr. Adam Luckerth, residing at 636 Southwood Ln., is requesting that the Planning Commission consider an application for a Conditional Use Permit (CUP) to allow for the keeping of animals on a lot smaller than the required 2.5 acres in the Estate Residential (ER) zone district. Mr. Luckerth currently has goats on the property and would like to either maintain the goats, or remove the goats and add two horses on the property. The application addresses goats only. The applicant followed up to amend the request to either allow six goats or two horses. He wishes to keep animals on the property indefinitely, which would not be permitted by the Town's Municipal Code.

Staff prepared alternative recommendations for the Planning Commission's consideration and forwarding to the Town Board. These alternatives include allowing the temporary keeping of either the existing animals (six goats) or the two requested horses on the property, with conditions; allowing such keeping indefinitely without conditions; or denial of the request. Accordingly, staff outlined these options in the recommendation section for the Commission's consideration.

During public comment, Dwight Mallory of 620 South Lane, the adjacent neighbor to the north, testified in opposition to the permit. He disputed claims of continuous animal presence and detailed ongoing property damage from goats eating his landscaping, particularly lilac bushes. Mallory stated the goats continue to be a nuisance, appearing on his property at least once daily and sometimes multiple times per day, with damage occurring as recently as 5:30 PM that afternoon. He submitted written comments requesting denial of the permit and indicated his attorney also submitted separate comments.

Joe Kingry of 635 Southwood Lane spoke in support of the conditional use permit, stating that the livestock contributes to the uniqueness and quality of their neighborhood and that the lot was originally purchased with the agreement for livestock.

Planning Commissioners asked a number of clarifying questions directed at town staff, the applicant, and Mr. Mallory in order to understand the history of animals on the property in accordance with code both prior to and after 2020, when the code was amended.

Chairman Reddick closed the public hearing.

2. Recommendation to Town Board - Consideration of a request for a Conditional Use Permit to allow for the temporary keeping of animals on a lot smaller than the required 2.5 acres within the Estate Residential (ER) zone district for Westwood Village Subdivision 7th Filing, Lot 16 (636 Southwood Lane) - Adam Luckeroth, Applicant/Property Owner

Upon discussion of the information and testimony presented Planning Commissioner Kirch moved to deny the request for a Conditional Use Permit to allow for the temporary keeping of animals on a lot smaller than the required 2.5 acres within the Estate Residential zone district for Westwood Village Subdivision 7th Filing. Commissioner Neal seconded the motion. Roll call on the vote resulted as follows; Yeas – Timothy Reddick, Victor Tallon, David Hassard, Ben Kirch, Maxwell Nader, John Neal; Nays – Jordan Spight, motion passed.

D. COMMUNICATIONS

1. Communications from Planning Commission

Commissioner Neal and Commissioner Kirch will be absent for the May 6, 2026, meeting. Chairman Reddick has a conflict with the May 20, 2026, meeting and may be absent.

2. Communications from Town Board Liaison

Mr. Hallett announced two upcoming Historic Preservation Commission events: a presentation at Peculiar Ales on May 2nd from 9:00-10:30 AM in a “coffee with the Mayor” style format, and a booth at the farmer's market on June 6th to celebrate the town's 150th anniversary.

3. Communications from Staff

- a. Town of Windsor Housing Needs Assessment - S. Mezzetti, Senior Planner

Ms. Mezzetti indicated this is an informational item only at this time. She encouraged attendants to log on to the Windsor Housing Needs Assessment and Housing Action Plan Virtual Open House April 16, 2026.

E. ADJOURN

The meeting was adjourned at 9:03 p.m.

Penny Mascarenas, Assistant Town Clerk



MEMORANDUM

Date: July 1, 2026
To: Planning Commission
From: Kimberly Lambrecht, Long Range Planner
Re: Recommendation to Town Board - Large Retail Establishment Major Site Plan – Jacoby Farm Subdivision 5th Filing, Lots 1, 2 and 4 – Walmart Super Center - Walmart, Inc., Owner; Spencer Hymas, Galloway & Company LLC, Applicant
Item #: C.1.

Background / Discussion:

Executive Summary

The applicant's representative, Spencer Hymas, Galloway & Company, has submitted a Major Site Plan application on behalf of Walmart, Inc. for a Large Retail Establishment development that will include a supercenter grocery and retail store, and a fueling center (Walmart) within a commercially zoned property known as Jacoby Farms Subdivision Fifth Filing, Lots 1, 2 and 4. The Major Site Plan application has been reviewed in accordance with Section 14-2-90 – Site Plan, and Chapter 15, Article VII – Large Retail Establishments of the Town Municipal Code concerning lot development standards and design criteria for Large Retail Establishments (retail buildings over 50,000 square feet of gross leasable area). The application meets or exceeds these requirements.

The subject property is zoned GC (General Commercial), which allows a large retail center, so long as the Large Retail Establishment standards are met.

Chapter 15, Article VII – Large Retail Establishments outlines the purpose and procedures of the Large Retail Site Plan process, which states that all retail establishments of more than fifty thousand (50,000) square feet of gross leasable area (GLA) shall require site plan approval by the Town Board and shall not be eligible for administrative approval.

In support of the required lot development standards for a Large Retail Establishment, a separate land use application for a Minor Subdivision is being reviewed concurrently for the subject site in order to adjust lot lines to align with the large lot development and also to create pad sites for the fueling center and a future development. The Minor Subdivision (Jacoby Farm Subdivision Ninth Filing) application process is processed, reviewed and approved administratively and has been reviewed in accordance with Section 14-2-60 – Subdivision of the Town Municipal Code concerning the legal boundaries of property. The application meets or exceeds these requirements.

The subject property is located north of Main Street (State Highway 392), east of 17th Street, and south of the Greeley No. 2 Canal.

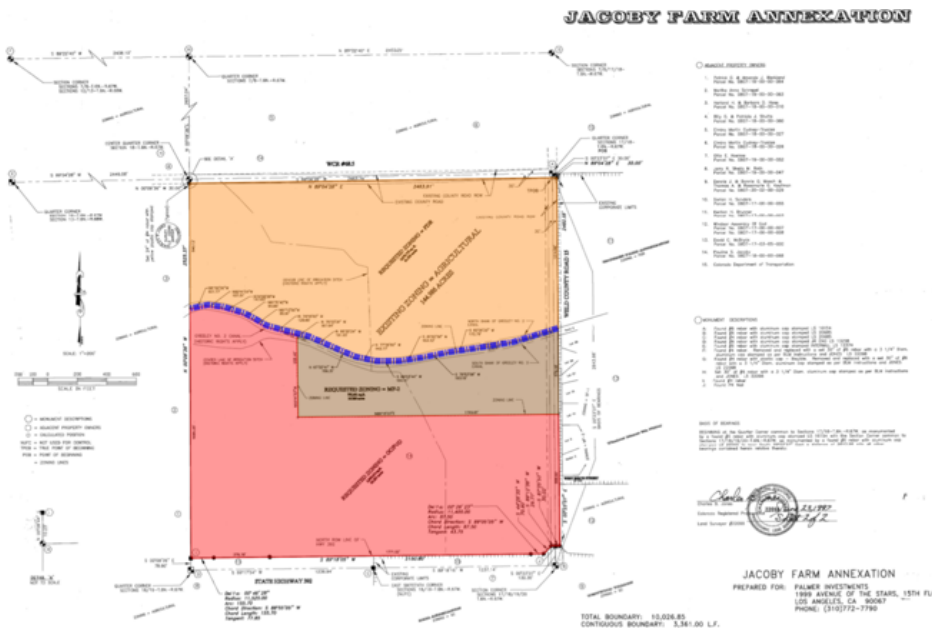


Staff recommends that the Planning Commission forward a recommendation of approval to the Town Board for the **Large Retail Establishment Major Site Plan**, as stated below in the recommendation section.

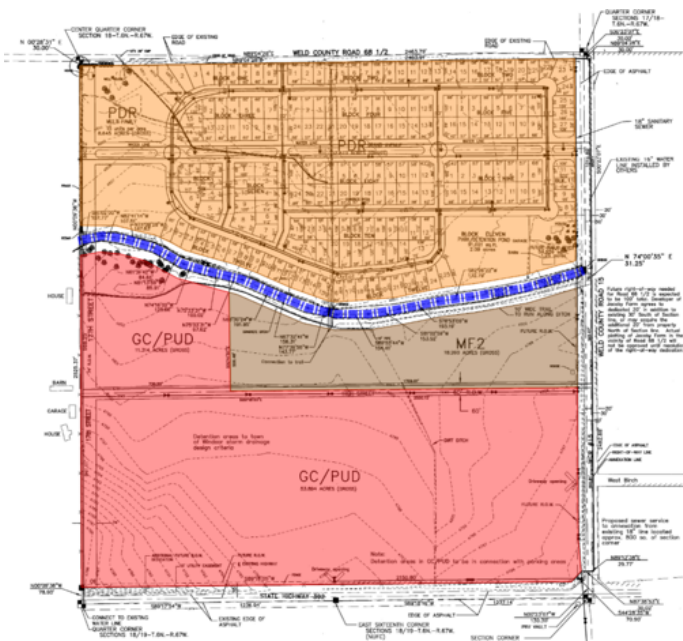
Background

Jacoby Farm Annexation, Zoning and Master Plan.

The subject property was annexed into the Town in 1997, as part of the 145-acre Jacoby Farm Annexation, and was initially zoned Residential, General Commercial and Multi-family.



A Master Plan for the property was also reviewed and approved at that time.



In 2009, improvements to Main Street and 17th Street, and the addition of the traffic signal at 17th and Main were completed.

In 2013, development of the residential parcels on the north side of the Greeley No. 2 Canal began. The proposed development consisted of 151 units of single-family homes, and 61 units of townhomes.

Large Retail Establishments. In 2004, the Town adopted procedures and design standards for new, large retail establishments (Ord. No. 2004-1173), which were amended in 2005, 2006, and 2014, before becoming part of the collective Town’s Land Use Code in 2021. The procedures and design standards are within Chapter 15, Article VII, Large Retail Establishments. The purpose of this section is to address design characteristics and outline design solutions for retail buildings over 50,000 square feet of gross leasable area. This section of the code requires Town Board approval of a large retail establishment with an accompanying commercial site plan (Major Site Plan application).

Windsor Commercial Corridor Plan (CCP). In 2010, the Town adopted a commercial corridor plan to address design standards for properties along Main Street (SH 392). The subject site is within the “West Main Street Corridor” portion of the CCP. Commercial centers, retail establishments, including grocery stores and other complimentary commercial uses are identified as permitted uses. The design standards within the CCP generally align with those found in the Large Retail Establishments section of the Municipal Code, such as building heights, architectural features and lot development criteria. The Major Site Plan under review complies with the use, setbacks and other design standards outlined within the Commercial Corridor Plan.

Walmart Timeline

The development proposed for Tract D of the original Jacoby Farm Subdivision began shortly after annexation, and has been in consideration for development since 2004. It started with a complex land

use code evaluation process that culminated in a 2005 special election where the voters of Windsor approved the ordinance that rezoned the property from Multi-family to General Commercial, thus setting the stage for large retail establishments to develop on the property, as well as elsewhere in the Town. The following timeline outlines key courses of action that began in 2004 when Walmart originally began the development review process:

10/25/2004: An ordinance presented to the Town Board to rezone a portion of the property to commercial zoning is defeated in a 4-3 vote.

3/28/2005: A citizen-initiated ordinance to rezone the property for commercial use qualifies for referral to a special election.

6/14/2005: The ballot measure to rezone the property is approved by Windsor voters during the special election.

12/5/2007: Walmart closes on the purchase of the property.

7/28/2025: Walmart submits new plans for the site to the town for administrative review.

2/2/2026: Revised plans addressing staff comments from the initial review are submitted to the town.

6/5/2026: Updated plans addressing staff comments are submitted to the town, and are currently under review.

7/1/2026: Planning Commission review

7/13/2026: Town Board review

Major Site Plan and Minor Subdivision submittals. In July 2025, the subject applications for a proposed large retail establishment were received. The site plan and coordinating subdivision were in general alignment with the previously approved site plan from 2007. However, due to the tremendous growth Windsor has seen since 2007, the changes in the retail shopping experience due to the 2020 pandemic and the evolution of the Town's lot development, design and engineering standards, Walmart's project scope changed enough that the site layout was somewhat reconfigured and consequently required additional land to be acquired from the adjacent parcel – thus requiring the Minor Subdivision.

While the typical elements of a large retail establishment such as Walmart will continue to be included with this updated plan (such as the garden center and pharmacy pickup window), the advent of online pickup and delivery for grocery and retail needs (due to the pandemic) have brought about a slightly different approach to parking and site circulation. Walmart also continues to expand the services they provide, with this proposed store including a car care center which calls for enhanced screening and safety measures.

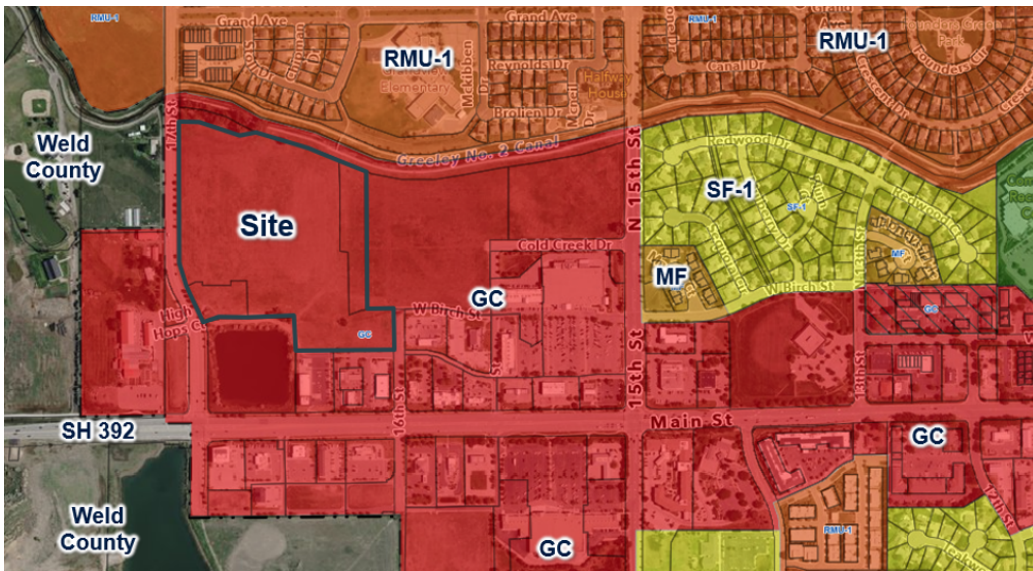
Aside from these key changes, the intent of the overall site layout, access and circulation of the project have not changed. The proposed plans have been developed with current lot development standards in mind and the updated design continues to be supported by the existing public improvements put in

place in 2009.

Adjacent Zoning

The subject site is zoned General Commercial (GC) and uses for abutting properties include the following:

	Zoning	Current Use
North	Residential Mixed Use One (RMU-1)	Single-family residential — Jacoby Farm 2nd
East	General Commercial (GC)	Undeveloped parcel within the Jacoby Farm commercial development
South	General Commercial (GC)	Commercial center – Jacoby Farm
West	General Commercial (GC) Unincorporated Weld County - Ag	Commercial development - coffee, brewery, distillery, garden center Agricultural land with existing residential and farm buildings



Comprehensive Plan – Future Land Use Map

The Town’s 2024 Comprehensive Plan identifies the future land use category for the property as “General Commercial” on the Future Land Use Map. This map identifies the preferred uses that would align with existing zoning in Windsor and most suitable to reflect the community’s vision and goals for the future. The proposed project is in alignment with the Land Use Map.

Large Retail Establishment – Major Site Plan

A Major Site Plan for a Large Retail Establishment is being reviewed concurrently with a Minor Subdivision application, in accordance with Chapter 15, Article VII, which provides criteria and design standards for retail buildings over 50,000 square feet gross leasable area. The commercial/retail grocery store site is located north of Main Street, south of the Greeley No. 2 Canal Trail and east of 17th Street. The proposed large retail establishment major site plan complies with or exceeds the standards set forth in the Town's Land Use Code.

Land Use Data

Walmart Supercenter

LAND USE SUMMARY		
LOT USE	GENERAL RETAIL	
ZONING	GENERAL COMMERCIAL	
LOT SIZE	883,559 SQUARE FT	100%
SUPERCENTER #3797	181,236 SQUARE FT	20.5%
	AREA (SQUARE FT)	% OF TOTAL AREA
BUILDING & ENCLOSURES (TRASH / STORAGE)	186,988	21.2
SIDEWALK & PATIO	29,822	3.4
PARKING & DRIVE AREA	459,619	52.0
PRIVATE STREET (BIRCH EXTENSION)	26,511	3.0
LANDSCAPE AREA (TOTAL)	180,619	20.4
REQUIRED LANDSCAPE AREA	176,712	20.0
PARKING REQUIRED		
REQUIRED REGULAR SPACES	706 (4.00 / 1000 GSF)	
REQUIRED ADA-ACCESSIBLE SPACES	17 (2% OF TOTAL)	
PARKING PROVIDED		
PROVIDED VEHICLE PARKING		
REGULAR / ASSOCIATE	677 SPACES	
ADA-ACCESSIBLE	20 SPACES	
ELECTRIC VEHICLE	8 SPACES	
PICKUP	61 SPACES	
TOTAL ONSITE	766 SPACES (4.23 / 1000 GSF)	
PROVIDED BICYCLE PARKING	9	
BUILDING DESIGN ELEMENTS		
MAXIMUM BUILDING HEIGHT	28'-8"	

Convenience Store & Fueling Center

LAND USE SUMMARY		
LOT USE	GASOLINE SERVICE STATION	
ZONING	GENERAL COMMERCIAL	
LOT SIZE	52,904 SQUARE FT	100%
C-STORE	1,511 SQUARE FT	2.9%
	AREA (SQUARE FT)	% OF TOTAL AREA
BUILDING & ENCLOSURES (TRASH / STORAGE)	1,842	3.5
SIDEWALK & PATIO	1,807	3.4
FUEL CANOPY	6,120	11.6
PARKING & DRIVE AREA	20,272	38.3
PRIVATE STREET (BIRCH EXTENSION)	4,892	9.2
LANDSCAPE AREA (TOTAL)	17,971	34.0
REQUIRED LANDSCAPE AREA	10,115	20.0
PARKING REQUIRED		
REQUIRED REGULAR SPACES	7 (4.00 / 1000 GSF)	
REQUIRED ADA-ACCESSIBLE SPACES	1 (1 PER 25 REGULAR STALLS)	
PARKING PROVIDED		
PROVIDED VEHICLE PARKING		
REGULAR	12 SPACES	
ADA-ACCESSIBLE	1 SPACE	
TOTAL ONSITE	13 SPACES (8.60 / 1000 GSF)	
BUILDING DESIGN ELEMENTS		
MAXIMUM BUILDING HEIGHT	16'-0" (CONVENIENCE STORE)	

Key elements of the site and building include:

- Approximately 182,000-square-foot large retail establishment (grocery and retail store), along with a 10-pump fueling center and 1,500-square-foot convenience store.
- The retail building height ranges from 18'-0" to 30'-8", with varying parapet heights to comply with the architectural design standards. The convenience store building height is a maximum of 16'-0".
 - The Commercial Corridor Plan architectural elements allow up to 40 feet in height. (Note: The maximum building height in the adjacent residential mixed use zone districts is also 40-feet).
- A varying roofline, pilasters, awnings, windows, a variety of building materials and colors, architectural treatments, and screening of rooftop mechanical units are all elements included with the required architectural building elevations.
- Architectural treatment for walls over 50 feet in length have been included (i.e., no blank walls).
- The building placement on the site includes setbacks starting at a minimum of 55'. Also included are 55' – 200' buffer areas widths, with a screen wall and landscaping along the north side of the grocery store, adjacent to the Greeley No. 2 Canal and the residential development

beyond. There is also a screen wall with landscaping on the east side of the building, between the new 10-foot rec trail and the site.

This exceeds the General Commercial (GC) zone district building setback requirements, which are 20-feet on all sides.

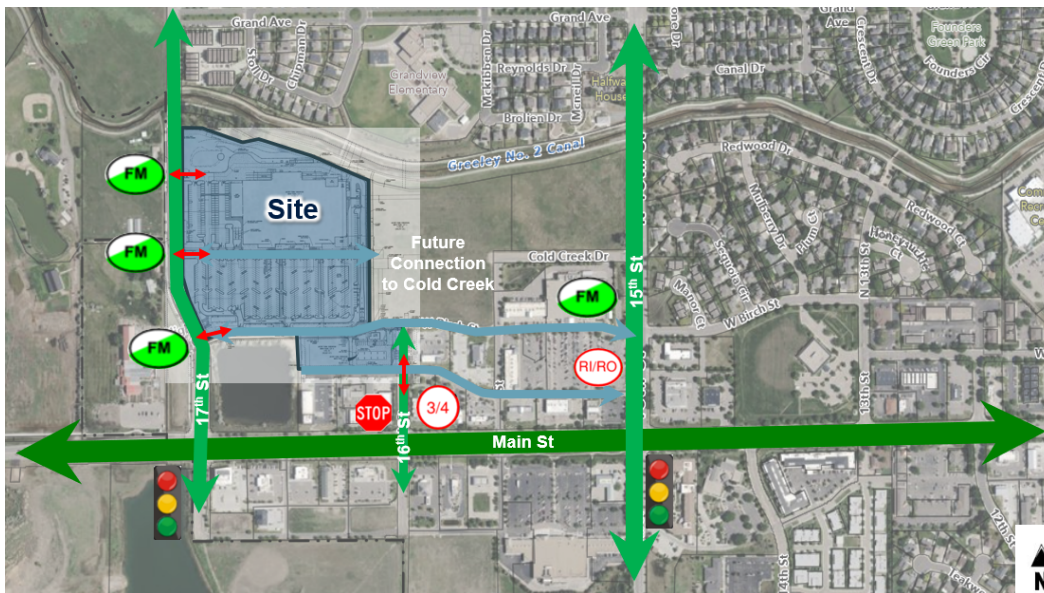
- Screen walls are provided around the loading areas, trash enclosure and trash compactor areas.
- Parking areas and accompanying lighting are generally situated at the front or to the side of the building, further away from the residential neighborhood, with a focus on providing landscape buffer areas adjacent to the neighborhood. Keeping the parking lot areas further away from the residential area to the north also helps reduce the impact of parking lot lighting.
- A 10-foot sidewalk placed along the east side of the property will provide pedestrian connectivity to/from the Greeley No. 2 Canal Recreation Trail. Additionally, the existing sidewalk along 17th Street will remain, and the internal network of sidewalks along the private roads and drives will provide well-rounded connectivity to, in and around the site. The Poudre Express Bus stop, located on Main Street approximately 375-feet to the west of 15th Street, will be approximately 1/3 of a mile from the Walmart property, accessible via the internal sidewalk network.

A summary of key design standards for Large Retail Establishments (Chapter 15, Article VII) include:

- Architecture – enhanced architectural elements at facades, entryways, rooflines, colors and materials.
- Pedestrian, Vehicular, and Parking requirements include a complete sidewalk/pedestrian network, crosswalks, parking lot landscaping and screening.
- Miscellaneous requirements
 - No trailers, semi-trailers, outdoor containers, etc. shall be stored on site
 - Noise mitigation
 - Exterior display areas are permitted only where clearly depicted on the approved site plan.
 - All large retail establishments shall be regularly maintained with a neat and orderly appearance

Infrastructure

Public infrastructure related to this development, including improvements to Main Street, 17th Street and the signalized intersection at 17th and Main, was completed in 2009. Internal public sidewalks and the trail system within the subject development will be built and maintained by the developer or a business association.



Utilities

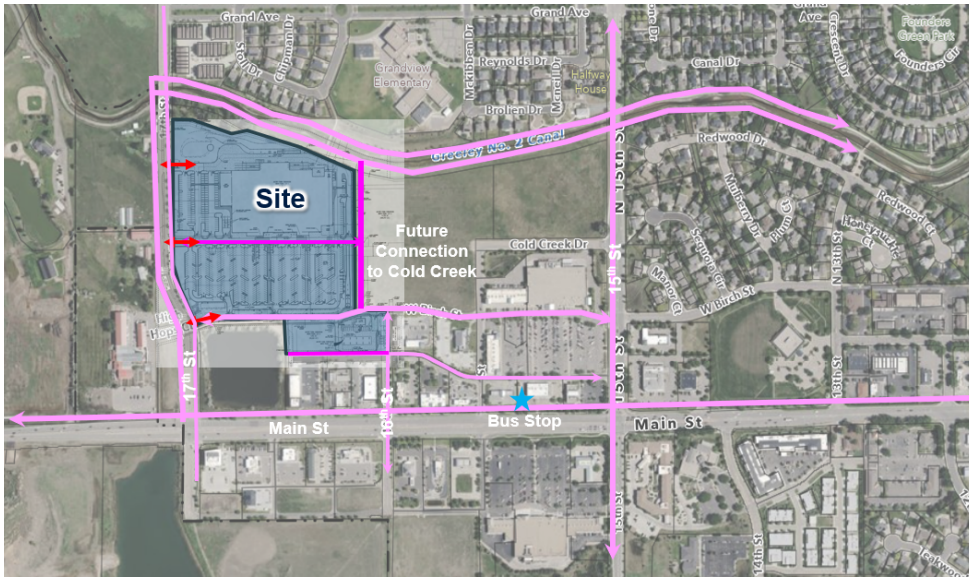
There are adequate public utilities to serve the proposed development. Town of Windsor water and sewer were stubbed to the lots in 2009, and are available for Walmart to connect to. The development will tie into the existing Town stormwater system.

Transportation Network

The project transportation network and internal connectivity is consistent with the approved Transportation Master Plan (2020). Public improvements associated with commercial development at this location (17th Street, Main Street and the traffic signal at 17th and Main) were completed in 2009. Staff continues to work with the applicants' team to develop the internal private drive/road network to provide and/or plan for connections to existing Town rights-of-way (16th Street and Cold Creek Drive).

Trail System

As noted, a 10-foot-wide sidewalk will be provided that connects the existing Greeley No. 2 Canal Trail to the internal sidewalk network of the commercial development. The sidewalk connection will be located on the east side of the proposed development. The internal sidewalk network will also connect to 16th Street and Main Street.



Phasing

The proposed project is anticipated to be built in one phase.

Relationship to the Comprehensive Plan

The application is consistent with the Comprehensive Plan, particularly the following:

Chapter 5 – Growth & Regional Collaboration

Goal 1: *Manage new development to be fiscally responsible and environmentally sensitive.*

Policy 1: *When existing infrastructure can support development, prioritize new development, redevelopment, and infill to leverage existing resources.*

Staff comment: Public improvements were extended to the site in 2009, and water/sewer infrastructure was stubbed to the property, in anticipation of the project coming online. The parcel for the proposed site plan is generally bordered on all sides by existing residential and existing commercial development within the town, with some intermittent undeveloped parcels remaining in the existing adjacent commercial development, and an undeveloped Weld County agriculture parcel to the west. The development will enhance local services, addressing long-standing concerns from residents about the town's primary grocery store. Studies show that Windsor residents often shop for groceries and retail items elsewhere, resulting in fiscal losses. This infill project aims to reduce that leakage, provide additional consumer benefits for citizens in the western reaches of the Town and those traveling through the Town, while supporting the overall town financially.

According to data from the Town's Economic Development staff, the sales tax leakage the Town sees due to residents shopping elsewhere for groceries and basic retail needs amounts to approximately \$1.4 million per year. The potential revenue that will be generated from the super center may amount to approximately \$4.4 million per year.

Goal 2: *Align the pace of new development with investment in infrastructure, amenities, and services.*

Policy 1: *Ensure all new development provides adequate consideration of and commitment to usable open space, parks, and trail connections*

Policy 3: *Proactively anticipate local and regional traffic demands with new development and ensure road infrastructure and design can accommodate future increase in traffic flow.*

Staff comment: The site plan proposes an anchor grocery / retail store within an existing shopping center and an existing developed road network. One additional pad site will be created with the Minor Subdivision (Jacoby Farm Subdivision 9th Filing). There are no plans for the new pad site at this time, but it will require administrative site plan review and approval. The private improvements that will be made as part of the proposed Walmart development will provide connections to the existing established road network and commercial center, thus opening up opportunities for the undeveloped parcels within the existing commercial center.

The proposed development has been anticipated for nearly 20 years. Infrastructure for the development (improvements to Main Street, construction of 17th Street, and installation of the traffic signal at 17th and Main) was implemented in 2009 and continues to function as expected.

Improvements to the site will include a trail connection to the Greeley No. 2 Canal Recreation Trail. This highly utilized trail, with connections to the residential development to the north, as well as to the south along Main Street, has the potential to draw pedestrian and bicycle activity into the retail center, thus strengthening the Town's commitment to creating pedestrian friendly circulation and connections to alternative modes of transportation.

Chapter 5 – Economic Development

Goal 1: Foster a balanced local economy with a range of employment, service, commercial, and industrial uses.

Policy 1: *Diversify commercial, light industrial, and employment uses to insulate the Town's fiscal base from economic downturns.*

Staff comment: The site plan proposes a large retail establishment of a grocery/retail store anchor

in an existing diverse commercial development that includes other retail opportunities, restaurants and service providers. The proposed grocery/retail center will also fill a void with respect to retail needs of the community beyond groceries. Additionally, the proximity of this commercial development to residential and employment outlets in the western reaches of the community will encourage those who live and/or work in town, as well as those passing through town, to shop, dine and fill personal service needs in Windsor.

Goal 3: Cultivate commercial development that provides increased choices and services.

Policy 1: Support and retain existing businesses, local businesses, and small businesses.

Policy 3: Promote public and private partnerships to enable proactive investments that support the long-term vibrancy and viability of commercial centers and corridors.

Policy 4: Ensure that appropriate transitions/buffers are provided between residential and nonresidential uses.

Staff comment: Existing commercial properties in the development area, including the existing King Soopers store, are planned to remain, and may be further supported by an additional consumer base coming to shop at the proposed Walmart development. Residents have expressed the need for improved retail services and options. Within this development, existing businesses are expected to remain, a parcel offering enough space for another large retail establishment will remain in a position to develop, and several smaller existing pad sites also remain available for development. With each new development occurring within this existing commercial center, the continued development of infrastructure elements provides incentive for new or expanding businesses to locate there.

The subject property was zoned General Commercial (GC) prior to the adjacent residential neighborhood being subdivided and developed (please refer to Walmart Timeline noted above). The applicant and staff have worked towards a commercial development layout that disperses traffic between several external and internal access options, none of which connect directly to the residential neighborhood to the north. A landscape buffer between the Walmart property and the Greeley No. 2 Canal property provides a minimum of 80-feet of buffer, and then the canal, along with the Jacoby Farms Metro District open space, provide another 80-feet of buffer, for a total of 160-feet distance between the Walmart property line and the property lines of the homes to the north. This distance, in conjunction with the minimum landscape requirements provide a significant visual buffer.

Chapter 5 – Transportation & Mobility

Goal 1: *Implement a connected and safe bicycle and pedestrian network that provides connections to key destinations, convenient access to transit, helps relieve congestion, and provides alternative transportation options.*

Policy 1: *Promote connectivity and efficient travel through roadway extensions, sidewalk construction,*

on-street bike facilities, and trail expansion projects.

Policy 3: *Encourage complete streets and a connected, comprehensive low-stress pedestrian/bicycle network to improve safety and comfort.*

Staff comment: As previously noted, the project will extend a recreation trail sidewalk from the existing Greeley No. 2 Canal Trail to the proposed and existing sidewalk network within the commercial development. This sidewalk network also provides a connection to the Poudre Express Bus Stop located approximately 1/3 mile away from the Walmart property.

Goal 2: *Support multimodal connectivity and safety and reflect the community character of Windsor as a part of new developments and growth.*

Policy 1: *Use roadway standards and cross sections in the construction of the new roadways that consider complete streets, maintenance needs, and reflect the context in which they are located.*

Staff comment: Public Improvements for this site were completed in 2009, which set the stage for multi-modal connectivity to the existing roadway network (including trail connections and bike lanes) from the internal sidewalk network, providing an accessible, pedestrian-friendly transportation network.

Chapter 5 – Parks, Recreation, Open Space & Trails

Goal 1: *Create equitable access to parks, open spaces, and trails to promote community identity and quality of life.*

Policy 3: *Continue to enhance regional trail connectivity through Windsor and to adjacent communities.*

Policy 4: *Create local trail connectivity to new open spaces, parks, schools, and neighborhoods, and to service existing unconnected neighborhoods*

Staff comment: The large retail establishment site plan will require a north-south pedestrian connection to the Greeley No. 2 Canal Recreation Trail, which will then provide pedestrian access to the existing Jacoby Farm residential neighborhood, a neighborhood school (Grandview Elementary), and a neighborhood park (Halfway Homestead Park).

Notifications

Per the Municipal Code, the Large Retail Establishment Major Site Plan is approved by Town Board. Planning Commission will provide the Town Board with a recommendation. The Code does not call for a public hearing for the review/approval process, so formal notification of surrounding property owners

was not made. However, because several members of the community have reached out to Staff over the last few months, a webpage (referenced on the Town of Windsor website homepage) was created on April 8, 2026. This webpage outlines key project information, responds to several comments from citizens, and includes dates for the Planning Commission and Town Board meetings. Any citizen directly requesting information about the project was also sent an email informing them of the meeting dates. Additionally, the Town's Development Activity Map provides the meeting dates and a link to a written description and graphic overview of the proposal.

Specific comments received from citizens via email, have been included in your packet.

Financial Impact:

Please refer to information from the Economic Development team, located in the Staff Memo.

Relationship to Strategic Plan:

The application is consistent with the Strategic Plan Mission Statement: The Town of Windsor promotes community and hometown pride through sustainable, excellent, and equitable delivery of services in a fiscally responsible manner.

The application is also consistent with the Strategic Plan's guiding principles, particularly the following:

- **Fiscal Responsibility** — *Windsor is committed to sound fiscal management and transparency in all decision-making. We plan for future generations through adequate allocation of resources that will allow for operations and maintenance of our facilities and land. We consistently evaluate our resources to maintain a healthy balance of programs and services.*

Staff Comment: This proposed project has been envisioned for many years – such that much of the public infrastructure has been in place for over 15 years, making this somewhat of an infill project. The site-specific improvements are largely internal, and will be constructed and maintained by the developer. The private roadway network, trail, bicycle, and sidewalk connections provide essential missing connections to adjacent existing public infrastructure. These connections are components of the Town's long-range plans for future generations, such as the Town's Transportation Master Plan and Trails System Master Plan.

- **Quality of Life** — *Windsor has a healthy, active lifestyle that provides opportunities for residents and visitors of all ages and abilities to experience a full array of recreational services and natural resources. We take pride in our well-connected and involved community that truly cares about each other demonstrated by the exceptional customer service of our workforce and the self-respect reflected through the attractiveness of our town.*

Staff comment: The site plan extends vehicle, bicycle, and pedestrian connectivity to this partially developed commercial center within the Town. The development will add improved infrastructure such as bicycle lanes, sidewalks, crosswalks, and regional trail connections to enhance citizens' quality of life by connecting them to adjacent commercial services,

neighborhoods, and recreational opportunities.

Recommendation:

Staff recommends that the Planning Commission forward to the Town Board a recommendation of approval for the Walmart Development (currently Jacoby Farm Subdivision 5th Filing, Lots 1, 2 & 4) Large Retail Establishment Major Site Plan as presented, subject to any outstanding Planning Commission, referral agency, and staff comments being addressed.

- Outstanding comments include administrative approval of the Jacoby Farm 9th Filing Minor Subdivision.

CC:

Scott Ballstadt, Director of Planning
Carlin Malone, Planning Manager

Attachments:

1. PC Staff Presentation - LRE-SP - Walmart_7.1.2026
2. Walmart_Applicant's Project Narrative
3. Walmart_Major Site Plan excerpts
4. Walmart_Landscape Plan
5. Walmart_Landscape Buffer Elevations
6. Walmart_Elevations - Perspectives
7. Correspondence from Mr. James Bosch
8. Correspondence from Emily Wilson
9. Correspondence from Susan Carey
10. Res No 2026-xx - approving large retail establishment - DRAFT



Large Retail Establishment – Site Plan

Jacoby Farm Subdivision,
5th Filing, Lots 1, 2 & 4

Kimberly Lambrecht, Long Range Planner
Planning Commission - July 1, 2026



Large Retail Establishment Site Plan

Article VII of Chapter 15 of the Municipal Code outlines the purpose and procedures of the Large Retail Establishment Site Plan process, including:

Sec. 15-7-30. – Procedure. All retail establishments of more than fifty thousand (50,000) square feet of GLA shall require site plan approval by the Town Board and shall not be eligible for administrative approval.



Site Vicinity Map

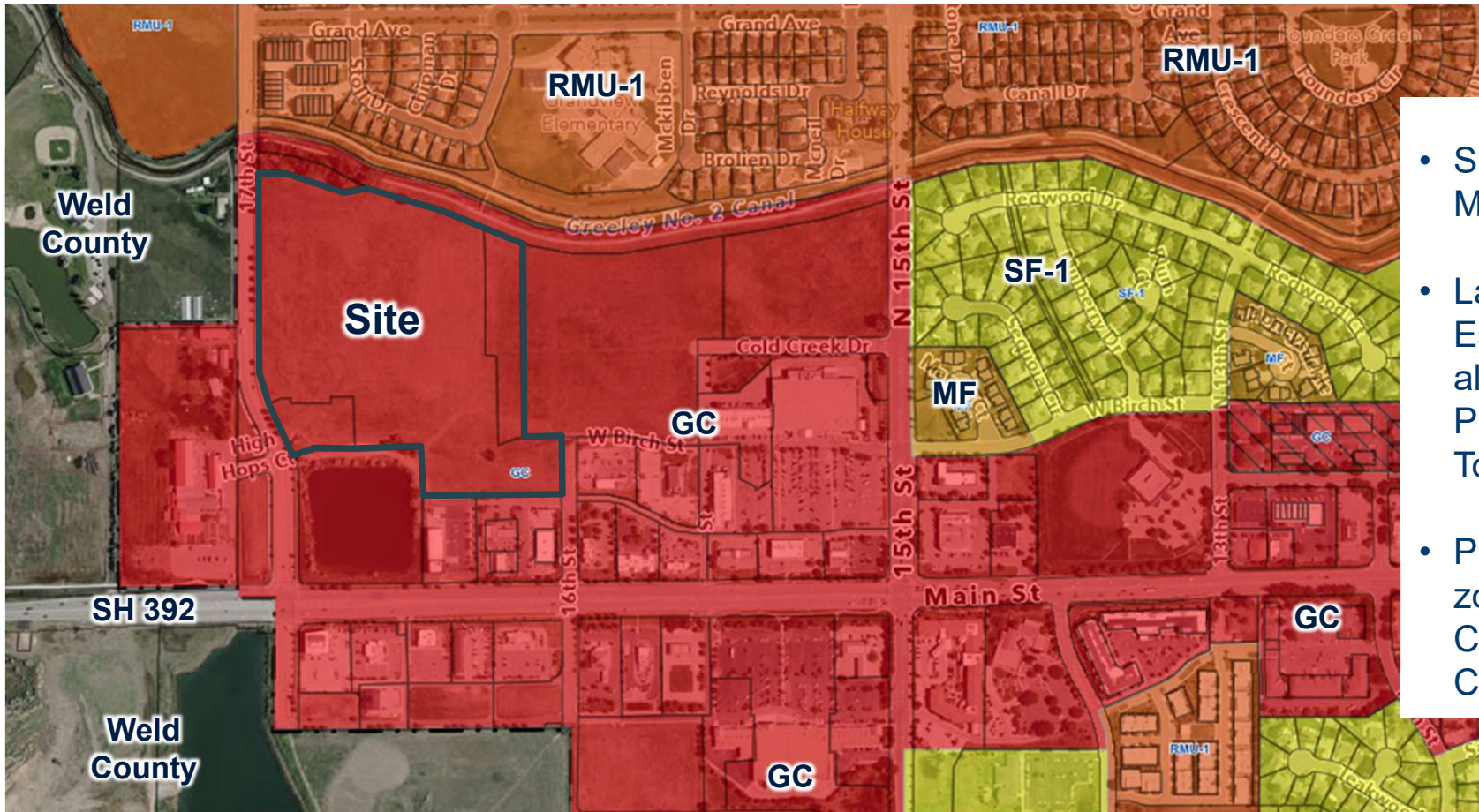


- Site annexed in 1997
- Plan is consistent with Town's long-range plans land use and economic development goals
- Comp Plan land use designation of General Commercial





Zoning Map



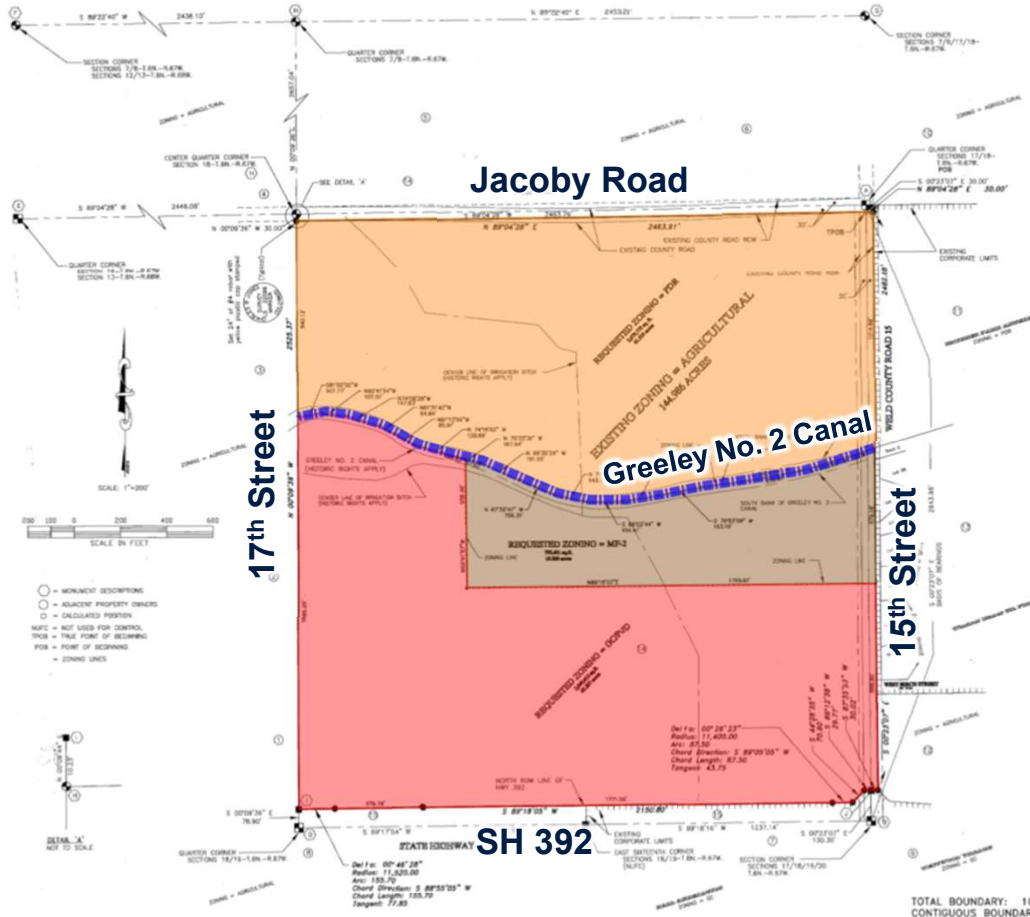
- Site rezoned from MF to GC in **2005**
- Large Retail Establishment use allowed with Site Plan approval by Town Board
- Permitted use in GC zone district and the Commercial Corridor Plan (CCP)





Annexation/Zoning - 1997

JACOBY FARM ANNEXATION



ADJACENT PROPERTY OWNERS

1. Patrick G. & Annick J. Binkley
Parcel No. 0827-18-00-00-004
2. Wortho Area Screenshot
Parcel No. 0827-18-00-00-003
3. Hopton, V. & Sylvia S. Hopton
Parcel No. 0827-18-00-00-010
4. My S. & Patricia J. Shupe
Parcel No. 0827-18-00-00-005
5. Ernie Morris, Colleen-Tuesday
Parcel No. 0827-18-00-00-007
6. Ernie Morris, Colleen-Tuesday
Parcel No. 0827-18-00-00-008
7. John E. Henson
Parcel No. 0827-18-00-00-002
8. Jerry R. Shupe, W. Bert
Parcel No. 0827-18-00-00-047
9. Dennis J. & Beverly G. Mapp, R. Thomas & Rosemary S. Mapp
Parcel No. 0827-20-00-00-029
10. Darlan L. Sanders
Parcel No. 0827-17-00-00-005
11. Kerlan L. Sauer
Parcel No. 0827-17-00-00-001
12. Wacker Assembly Co. Inc.
Parcel No. 0827-17-00-00-007
13. David C. McEwan
Parcel No. 0827-17-00-00-008
14. Phyllis E. Sauer
Parcel No. 0827-18-00-00-008
15. Colorado Department of Transportation

MONUMENT DESCRIPTIONS

1. Found #8 nail with aluminum cap stamped 12 12574
2. Found #8 nail with aluminum cap stamped 12 12582
3. Found #8 nail with aluminum cap stamped 28 JUL 12 12298
4. Found #8 nail with aluminum cap stamped 12 12298
5. Found #8 nail - Replaced and replaced with a 3 1/4" diam. aluminum cap stamped 12 per BLM instructions and JONES 12 12298
6. Found #8 nail with smooth cap - Replaced and replaced with a 3/8" of #8 steel with a 1 1/4" diam. aluminum cap stamped as per BLM instructions and JONES 12 12298
7. Found #8 nail with a 3 1/4" diam. aluminum cap stamped as per BLM instructions and JONES 12 12298
8. Found #8 nail
9. Found #8 nail

BASES OF BEARINGS

BEARINGS of the Quarter Corner common to Sections 17/18-18-00-007 as monumented by a found #8 nail with smooth cap stamped 12 12298 with the Quarter Corner common to Section 17/18-18-00-008 as monumented by a found #8 nail with aluminum cap stamped 12 12298 have been determined by a distance of 243.81' and a bearing of 89°23'31" W.

Charles B. Jones
 Charles B. Jones
 Colorado Registered Professional Surveyor
 License #22055
 Date: 2/3/97
 S. B. Jones

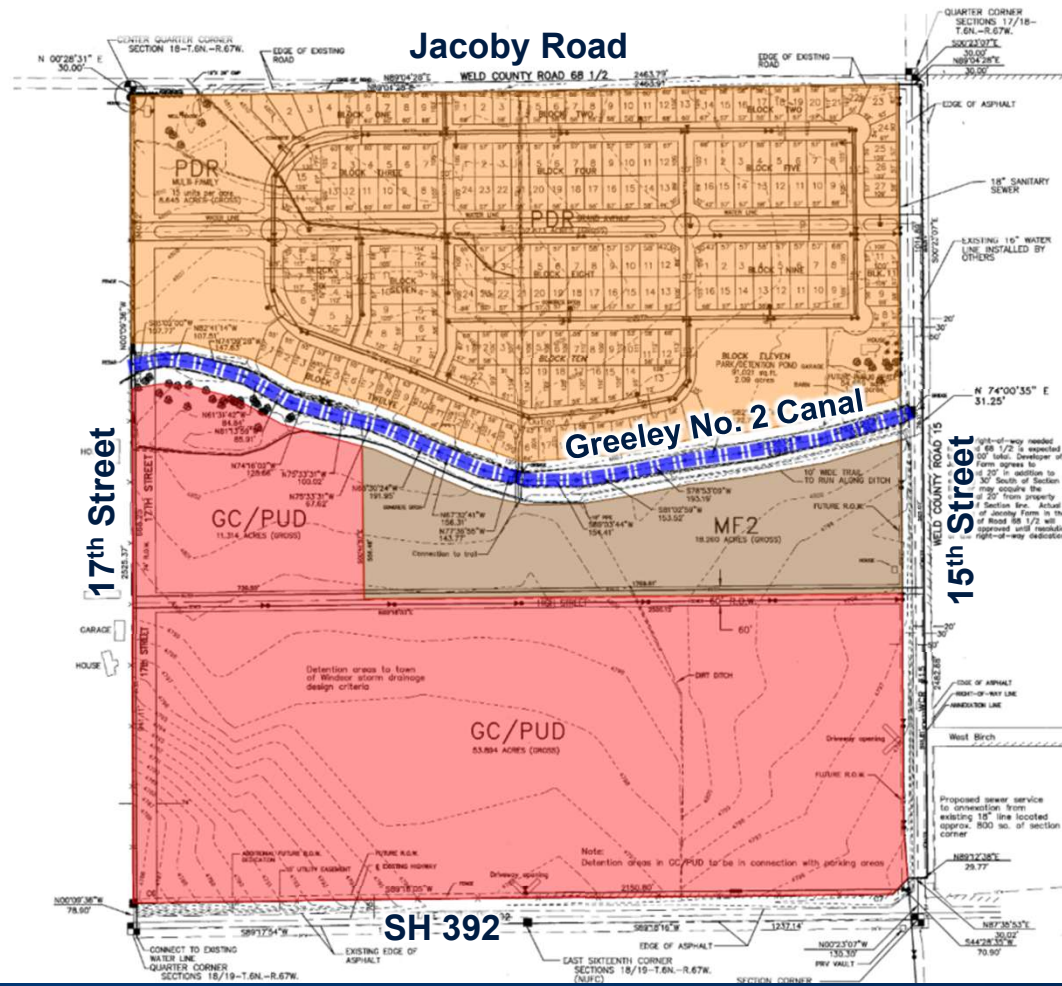
JACOBY FARM ANNEXATION
 PREPARED FOR: PALMER INVESTMENTS
 1999 AVENUE OF THE STARS, 15TH FLOOR
 LOS ANGELES, CA 90067
 PHONE: (310)772-7790

TOTAL BOUNDARY: 10,026.85
 CONTIGUOUS BOUNDARY: 3,361.00 L.F.





Master Plan - 1997





Background - Timeline

- 10/25/2004:** *An ordinance presented to the Town Board to rezone the property to commercial zoning is defeated in a 4-3 vote.*
- 3/28/2005: A citizen-initiated ordinance to rezone the property for commercial use qualifies for referral to a special election.
- 6/14/2005:** *The ballot measure to rezone the property is approved by Windsor voters during the special election.*
- 12/5/2007: Walmart closes on the purchase of the property.
- 7/28/2025:** *Walmart submits new plans for the site to the town for administrative review.*
- 2/2/2026: Revised plans addressing staff comments from the initial review are submitted to the town.
- 6/5/2026: Updated plans addressing staff comments are submitted to the town, and are currently under review.
- 7/1/2026:** *Planning Commission review*
- 7/13/2026:** *Town Board review*



Large Retail Establishment Standards

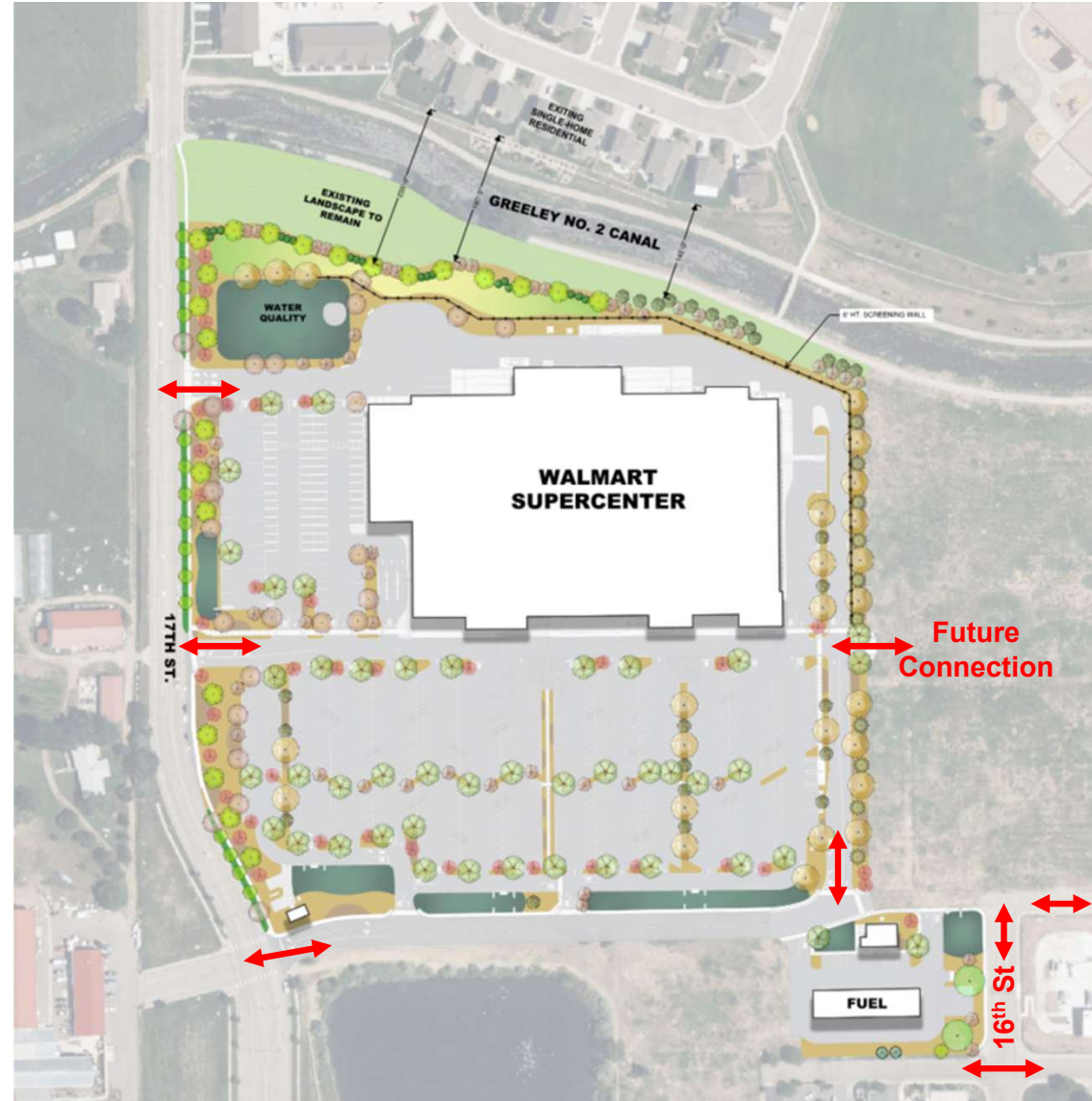
- ***All retail establishments of more than fifty thousand (50,000) square feet of GLA shall require site plan approval by the Town Board*** and shall not be eligible for administrative approval.
- ***Design Standards are intended to augment the Town's adopted corridor plans and zoning requirements with more specific interpretations that apply to large retail establishments.***
- Architectural Standards
- Pedestrian, Vehicular and Parking Standards
- Trailers, semi-trailers, outdoor containers, etc. shall not be stored on site
- Noise mitigation may be required (such as landscape buffers)
- Ongoing maintenance and neat and orderly appearance required



Site Plan

- (3) Primary access points along 17th Street
- Access will also be available via the internal private road network of the existing Jacoby Farms commercial/retail development

LAND USE SUMMARY		
LOT USE	GENERAL RETAIL	
ZONING	GENERAL COMMERCIAL	
LOT SIZE	883,559 SQUARE FT	100%
SUPERCENTER #3797	181,236 SQUARE FT	20.5%
	AREA (SQUARE FT)	% OF TOTAL AREA
BUILDING & ENCLOSURES (TRASH / STORAGE)	186,988	21.2
SIDEWALK & PATIO	29,822	3.4
PARKING & DRIVE AREA	459,619	52.0
PRIVATE STREET (BIRCH EXTENSION)	26,511	3.0
LANDSCAPE AREA (TOTAL)	180,619	20.4
REQUIRED LANDSCAPE AREA	176,712	20.0
PARKING REQUIRED		
REQUIRED REGULAR SPACES	706 (4.00 / 1000 GSF)	
REQUIRED ADA-ACCESSIBLE SPACES	17 (2% OF TOTAL)	
PARKING PROVIDED		
PROVIDED VEHICLE PARKING	677 SPACES	
REGULAR / ASSOCIATE	20 SPACES	
ADA-ACCESSIBLE	8 SPACES	
ELECTRIC VEHICLE PICKUP	61 SPACES	
TOTAL ONSITE	766 SPACES (4.23 / 1000 GSF)	
PROVIDED BICYCLE PARKING	9	
BUILDING DESIGN ELEMENTS		
MAXIMUM BUILDING HEIGHT	28'-8"	

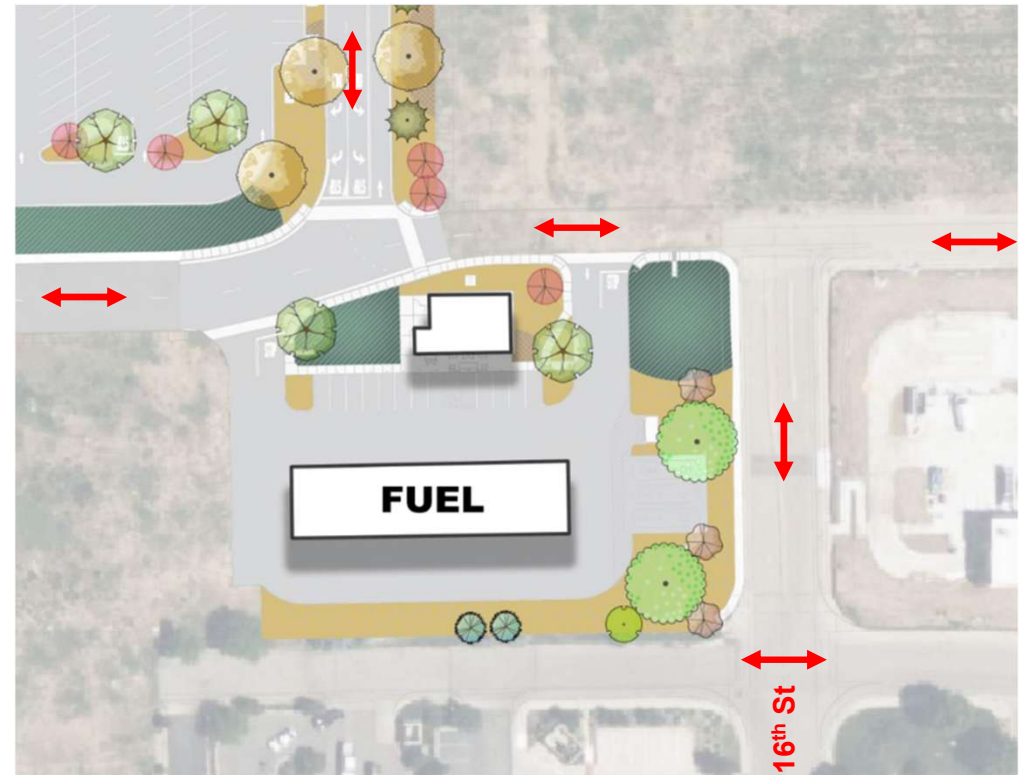




Site Plan

- Primary access from 16th Street & 17th Street (across from High Hops Ct)
- Access will also be available via the internal private road network of the existing Jacoby Farms commercial/retail development

LAND USE SUMMARY		
LOT USE	GASOLINE SERVICE STATION	
ZONING	GENERAL COMMERCIAL	
LOT SIZE	52,904 SQUARE FT	100%
C-STORE	1,511 SQUARE FT	2.9%
	AREA (SQUARE FT)	% OF TOTAL AREA
BUILDING & ENCLOSURES (TRASH / STORAGE)	1,842	3.5
SIDEWALK & PATIO	1,807	3.4
FUEL CANOPY	6,120	11.6
PARKING & DRIVE AREA	20,272	38.3
PRIVATE STREET (BIRCH EXTENSION)	4,892	9.2
LANDSCAPE AREA (TOTAL)	17,971	34.0
REQUIRED LANDSCAPE AREA	10,115	20.0
PARKING REQUIRED		
REQUIRED REGULAR SPACES	7 (4.00 / 1000 GSF)	
REQUIRED ADA-ACCESSIBLE SPACES	1 (1 PER 25 REGULAR STALLS)	
PARKING PROVIDED		
PROVIDED VEHICLE PARKING		
REGULAR	12 SPACES	
ADA-ACCESSIBLE	1 SPACE	
TOTAL ONSITE	13 SPACES (8.60 / 1000 GSF)	
BUILDING DESIGN ELEMENTS		
MAXIMUM BUILDING HEIGHT	16'-0" (CONVENIENCE STORE)	





Landscaping

- Landscape screening along 17th Street
- Landscape screening along the east drive aisle
- Site buffered from residential by the Greeley No. 2 Canal and the recreation trail
- Landscaping and screen wall at service area
- Approx. 160' setback from residential (PL to PL) (approx. 250' bldg. to bldg.)
- Parking lots and fuel center set further away from neighborhood





Landscaping



ELEVATION 03 | LANDSCAPE SCREENING AT SIDE WALL



ELEVATION 02 | LANDSCAPE SCREENING AT REAR WALL



ELEVATION 01 | LANDSCAPE SCREENING AT REAR WALL



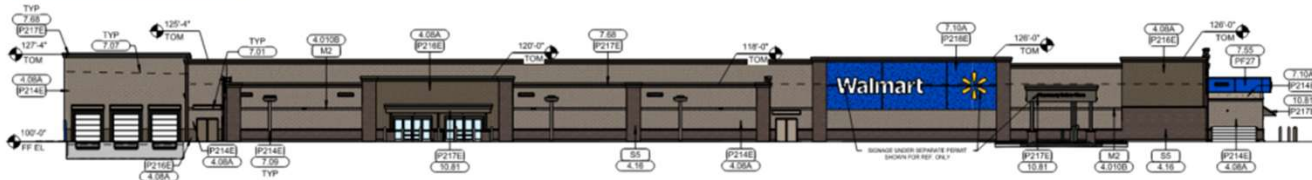
Public Improvements

- Improvements to Main Street (SH 392), 17th Street and the signal at the intersection of 17th and Main were completed in 2009, as a part of the original approved Site Plan to develop the Walmart site.
 - Additional Public Improvements to the project site will include (3) new access points from 17th Street into the site.
 - A right turn lane into the site at the midway driveway access to the site.
 - Updated striping along 17th Street to account for the new site access points.
 - The remaining improvements to the site will be internal, and will be privately owned and maintained.
 - Water, sewer and stormwater utilities are stubbed to the site and will be extended as necessary

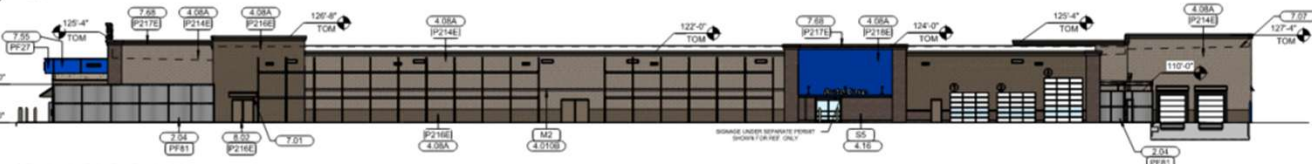


Building Elevations

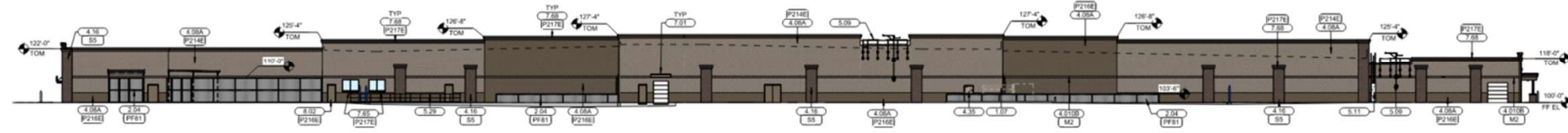
- 181,300 SF Building
- 30'-8"-feet = max. building height
- Compliance with Large Retail Establishment standards
- Compliance with Commercial Corridor Plan (CCP)



4 SIDE ELEVATION
1" = 20'-0"



3 SIDE ELEVATION
1" = 20'-0"



2 REAR ELEVATION
1" = 20'-0"



1 FRONT ELEVATION
1" = 20'-0"



Building Elevations





Building Elevations

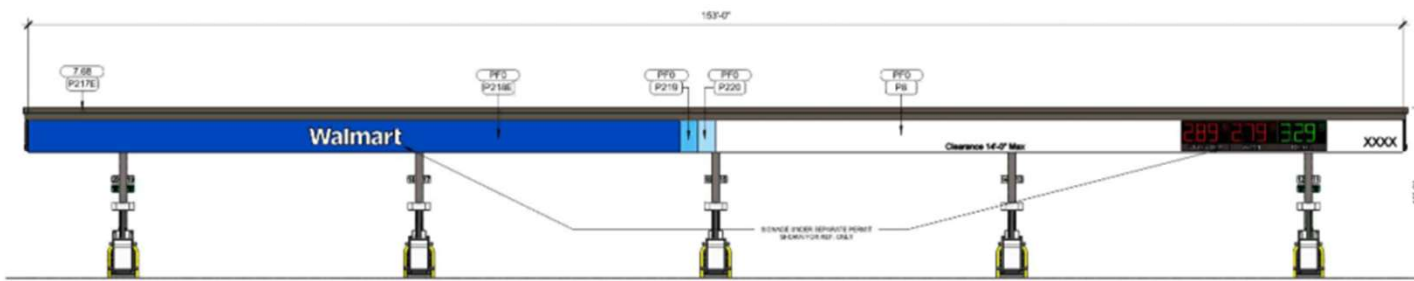
- 1511 SF Convenience Store
- 18-feet = max. building height
- Compliance with Large Retail Establishment standards
- Compliance with Commercial Corridor Plan (CCP)



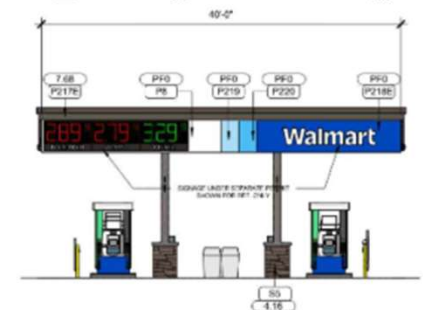
4 SIDE ELEVATION (RIGHT)
1/8" = 1'-0"



3 REAR ELEVATION
1/8" = 1'-0"



2 FRONT CANOPY
1/8" = 1'-0"



4 SIDE ELEVATION
1/8" = 1'-0"



Comprehensive Plan Conformance

The application is consistent with the following goals and policies of the Comprehensive Plan:

Chapter 5 – Goals & Policies - Growth & Regional Collaboration

Goal 1: *Manage new development to be fiscally responsible and environmentally sensitive.*

- **Policy 1:** *When existing infrastructure can support development, prioritize new development, redevelopment, and infill to leverage existing resources.*

Goal 2: *Align the pace of new development with investment in infrastructure, amenities, and services.*

- **Policy 1:** *Ensure all new development provides adequate consideration of and commitment to usable open space, parks, and trail connections*
- **Policy 3:** *Proactively anticipate local and regional traffic demands with new development and ensure road infrastructure and design can accommodate future increases in traffic flow.*



Comprehensive Plan Conformance

Chapter 5 – Goals & Policies – Economic Development

Goal 1: Foster a balanced local economy with a range of employment, service, commercial, and industrial uses.

- *Policy 1: Diversify commercial, light industrial, and employment uses to insulate the Town's fiscal base from economic downturns.*

Goal 3: Cultivate commercial development that provides increased choices and services.

- *Policy 1: Support and retain existing businesses, local businesses, and small businesses.*
- *Policy 3: Promote public and private partnerships to enable proactive investments that support the long-term vibrancy and viability of commercial centers and corridors.*
- *Policy 4: Ensure that appropriate transitions/buffers are provided between residential and nonresidential uses.*

- ❖ Studies show there are *fiscal losses with Windsor residents shopping elsewhere*. The center will help address long-standing concerns from residents about limited grocery store and retail shopping options.
- ❖ From the Economic Development team:
 - Sales tax revenue lost to area Walmart stores amounts to about **\$1.4 million per year**
 - Estimated annual Windsor sales tax revenue = **\$4.4 million per year**



Comprehensive Plan Conformance

Chapter 5 – Goals & Policies – Transportation and Mobility

Goal 1: *Implement a connected and safe bicycle and pedestrian network that provides connections to key destinations, convenient access to transit, helps relieve congestion, and provides alternative transportation options.*

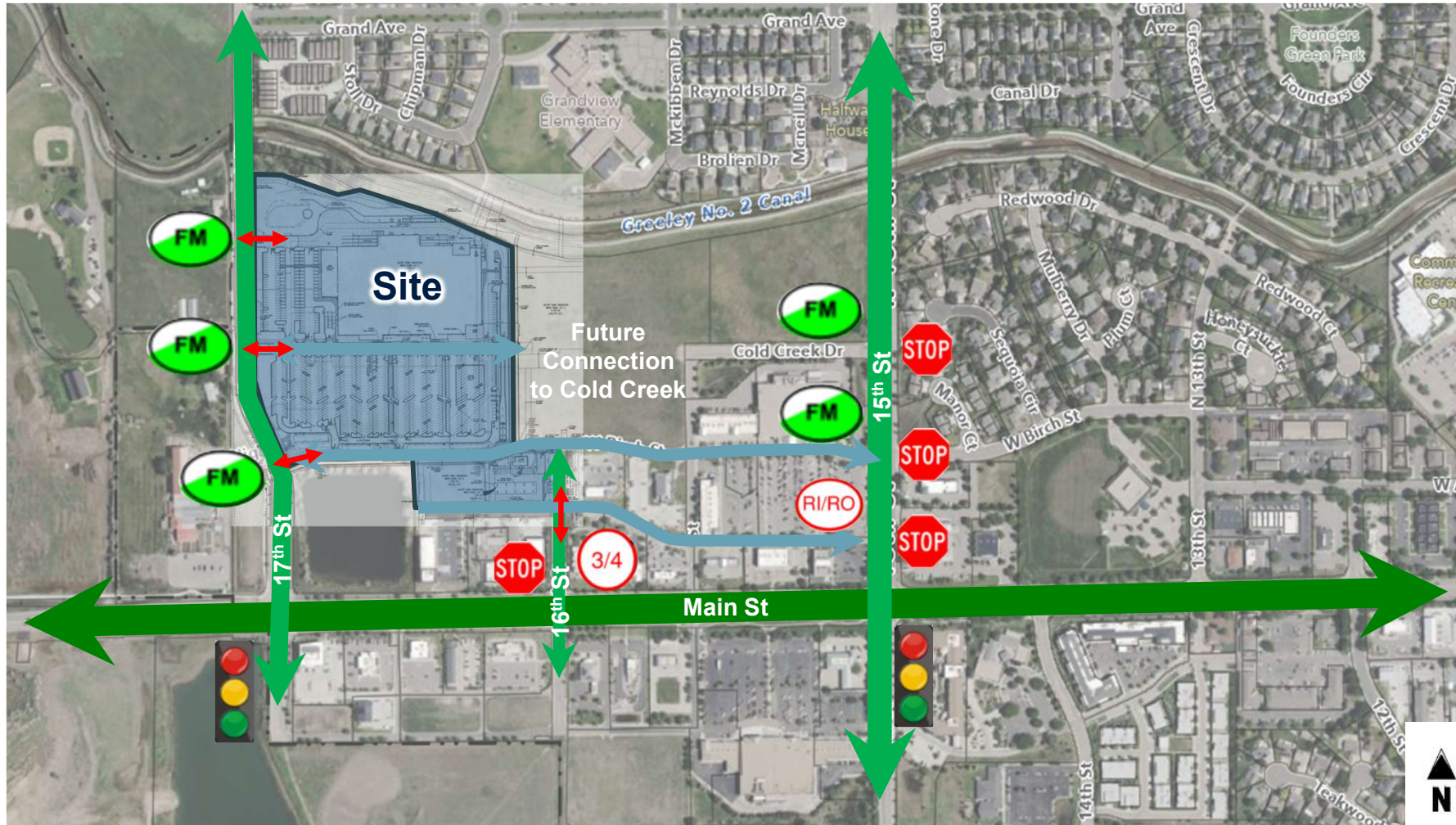
- **Policy 1:** *Promote connectivity and efficient travel through roadway extensions, sidewalk construction, on-street bike facilities, and trail expansion projects.*
- **Policy 3:** *Encourage complete streets and a connected, comprehensive low-stress pedestrian/bicycle network to improve safety and comfort.*

Goal 2: *Support multimodal connectivity and safety and reflect the community character of Windsor as a part of new developments and growth.*

- **Policy 1:** *Use roadway standards and cross sections in the construction of the new roadways that consider complete streets, maintenance needs, and reflect the context in which they are located.*



Vehicular Connectivity





Comprehensive Plan Conformance

Chapter 5 – Goals & Policies – Parks, Recreation, Open Space & Trails

Goal 1: *Create equitable access to parks, open spaces, and trails to promote community identity and quality of life.*

- **Policy 3:** *Continue to enhance regional trail connectivity through Windsor and to adjacent communities.*
- **Policy 4:** *Create local trail connectivity to new open spaces, parks, schools, and neighborhoods, and to service existing unconnected neighborhoods*



Pedestrian/Bicycle Connectivity





Strategic Plan Conformance

The application is consistent with the **Strategic Plan Mission Statement, Fiscal Responsibility Guiding Principle, and Quality of Life Guiding Principle:**

Mission Statement: *The Town of Windsor promotes community and hometown pride through sustainable, excellent and equitable delivery of services in a fiscally responsible manner.*

Guiding Principles:

- **Fiscal Responsibility** — Windsor is committed to sound fiscal management and transparency in all decision-making. We plan for future generations through adequate allocation of resources that will allow for operations and maintenance of our facilities and land. We consistently evaluate our resources to maintain a healthy balance of programs and services.
- **Quality of Life** - Windsor has a healthy, active lifestyle that provides opportunities for residents and visitors of all ages and abilities to experience a full array of recreational services and natural resources. We take pride in our well-connected and involved community that truly cares about each other demonstrated by the exceptional customer service of our workforce and the self-respect reflected through the attractiveness of our town.



Notifications

Per the Municipal Code, the Large Retail Establishment Major Site Plan is reviewed/approved by Town Board.

- Planning Commission will make a recommendation to Town Board.
- The Code does not call for a public hearing so formal notification of surrounding property owners was not made.
- Citizens who reached out to Staff we informed
- Development Activities Map included project information
- Informational Walmart webpage was created that included dates for Planning Commission and Town Board review



Recommendation

Staff recommends that the Planning Commission forward to the Town Board a recommendation of approval for the Walmart Development (currently Jacoby Farm Subdivision 5th Filing, Lots 1, 2 & 4) Large Retail Establishment Major Site Plan as presented, subject to any outstanding Planning Commission, referral agency, and staff comments being addressed.

- Outstanding comments include administrative approval of the Jacoby Farm 9th Filing Minor Subdivision.



Record

Staff requests that the following be entered into the record:

- Large Retail Establishment Major Site Plan application
- Staff memorandum and supporting documents
- Public comment
- Staff recommendation



Large Retail Establishment Standards

- ***All retail establishments of more than fifty thousand (50,000) square feet of GLA shall require site plan approval by the Town Board*** and shall not be eligible for administrative approval.
- ***Design Standards are intended to augment the Town's adopted corridor plans and zoning requirements with more specific interpretations that apply to large retail establishments.***
- Architectural Standards
- Pedestrian, Vehicular and Parking Standards
- Trailers, semi-trailers, outdoor containers, etc. shall not be stored on site
- Noise mitigation may be required (such as landscape buffers)
- Ongoing maintenance and neat and orderly appearance required



5500 Greenwood Plaza Blvd., Suite 200
Greenwood Village, CO 80111
303.770.8884 • GallowayUS.com

July 28, 2025

Kimberly Lambrecht
Windsor Planning Department
301 Walnut St.
Windsor, CO 80550

RE: Narrative

Major Site Plan – Walmart Supercenter
1690 Main Street
Lots 1 & 4 of the Jacoby Subdivision Fifth Filing

Agent/Project Manager:

Galloway & Company
5500 Greenwood Plaza Blvd, Suite 200
Greenwood Village, Colorado 80111
Spencer Hymas
801-512-1673
Spencerhymas@gallowayus.com

Owner :

Walmart Inc.
2608 SE J Street
Bentonville, AR 72716-0315
Taylor Reamer
479-445-8409
Taylor.Reamer@walmart.com

Dear Ms. Lambrecht,

Walmart and Galloway are applying for a major site plan for a new Walmart Supercenter on a 20.248 acre lot within the Town of Windsor. The subject property is currently comprised of three parcels; Lots 1 and 4 of Jacoby Farms Subdivision Fifth Filing and a portion of Lot 2, of the same subdivision. The overall improvement area consists of 22.515 acres, but 2.267 acres thereof is only being provided perimeter access and utility availability, but is otherwise left as future outlot development and is not a part of this site plan. Parcels are located within the Town of Windsor and are zoned General Commercial (GC). According to the Town of Windsor Municipal Code (“Code” hereafter) Section 16-1-120.1.C included as use by right in this zone are grocery stores, supermarkets, gasoline service stations, and drive-in restaurants. However, per Section 15-7-10 of the Code, large retail establishments occupying more than 50,000 square feet shall require approval by the Town Board in compliance with Article VII of the Code.

The proposed Site Plan consists of a 178,000 square foot Walmart Supercenter retail facility and a self-service fueling facility with a 1,440 square foot fuel station and five double-stacked multi-product dispensers providing 20 total fueling positions. The Supercenter features grocery, general merchandise, garden center, tire express, pickup/delivery, and pharmacy with drive-up lanes. Additionally, eight electric vehicle charging stations will be provided within the primary parking field.

Access to the site will be primarily from the 17th Street frontage along the west property boundary. At the far southwest parcel corner existing curb returns and cross pan define the proposed private extension of Birch Street which will connect through to the east as a part of the planned improvements. The returns and pan were a part of the Jacoby Farm Subdivision Second Filing public improvements which was the source of most of the 17th Street upgrades as they exist today. Birch Street is

approximately 525' north of the signalized Highway 392 and 17th intersection and aligns with High Hops Court on the west side of 17th. A further 425' north on 17th a new access aligning with the building frontage road will be installed coincidentally aligned with a private driveway on the west side of 17th. Finally, a further 385' north thereof, the primary delivery access will provide container truck access to the docks and mechanical areas at the back of the store. The private Birch Street through connection will immediately provide additional site access to Highway 392 via 16th Street or to 15th Street through existing and intervening private developments. A future connection to 16th Street is anticipated when the vacant commercial lot to the east develops and provides private extension of the Cold Creek Drive alignment.

Utilities have either been stubbed into the development area or exist peripherally thereto. Water mains, 8- and 12-inch diameter, have been stubbed onto the site from 17th Street as a part of the Jacoby Farm Subdivision Second Filing improvements. An 8-inch sanitary main stubs into the property from the east, installed as part of the public improvements installed with the Jacoby Farm Subdivision Fifth Filing. Water and Sanitary are Town of Windsor utilities. Electric and telecommunication lines exist in easements along the north property boundary and in or adjacent to (easements) the 17th Street right-of-way. An existing pond, Jacoby Farm Pond 1, exists on Tract B, Jacoby Farm Subdivision Fifth Filing, immediately south of the Birch Street extension alignment. This pond provides stormwater flow rate mitigation (detention) for the proposed development but does not include any water quality improvement provision. The pond also has a static pool that is used as a source of non-potable water for irrigation within the Second and Fifth Jacoby Farm Subdivisions. A 450 square foot pump house is sited in an easement on the Walmart Supercenter lot. The facility is owned and operated by the Windsor Northwest Metro District. State stormwater water quality requirements will be met through the implementation of bioretention (rain gardens) spread through the sites open spaces.

Commercial use for the subject parcel has been a part of the development plans since at least 2003. As such much of the public infrastructure necessary for the Walmart Supercenter are already in place. Re-stripping and regulatory signage modifications will be necessary in the 17th Street right-of-way. Water mains will be extended east from 17th Street to adjacent properties. A 10-foot connection to the public trail adjacent to the Greeley No. 2 Canal will be provided at the east property line from the Birch Street Alignment north.

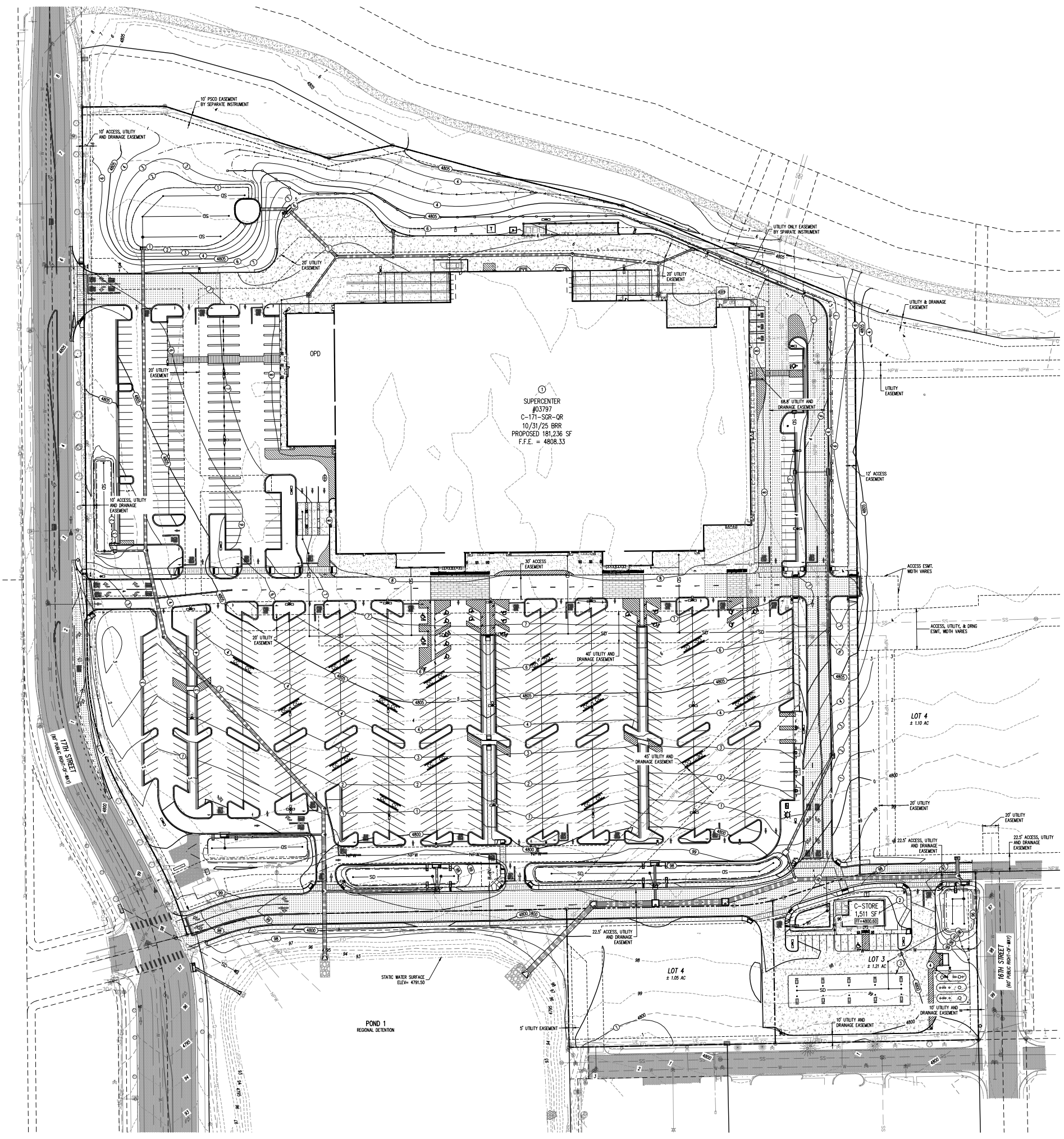
Concurrent with the Site Plan application, a subdivision plat application is being submitted for review. Lots 1, 2, and 4 of the Jacoby Farm Subdivision Fifth Filing are being re-configured into Lots 1 to 4 of the Ninth Filing. Final product will retain a configuration with two large lots, old and new lots 1 and 2, and two new outparcels for future development consideration. As a part of that process all easements that were dedicated with the Fifth Filing, largely providing for a now abandoned development plan, will be vacated and new easements dedicated as needed.

We look forward to working with the Town of Windsor on a successful project. Please don't hesitate to contact me directly with any questions.

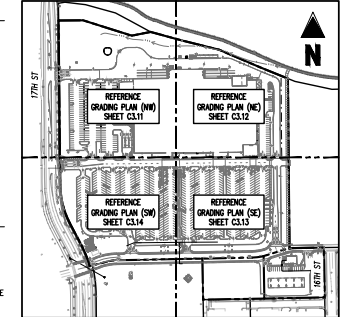
Sincerely,
GALLOWAY



Spencer Hymas
Development Services
Spencerhymas@GallowayUs.com
801-512-1673



- SCHEDULE**
- ① SUPERCENTER - REFER TO FOUNDATION PREPARATION NOTE - THIS SHEET
 - ② C-STORE - REFER TO FOUNDATION PREPARATION NOTE - THIS SHEET
 - ③ FUEL CANOPY - REFER TO FOUNDATION PREPARATION NOTE - THIS SHEET
 - ④ UST - REFER TO INSTALLATION PLANS - UNDER A SEPARATE COVER.



TOWN OF WINDSOR
STANDARD NOTES FOR CONSTRUCTION
GRADING, EROSION, AND SEDIMENT CONTROL MEASURES
REFER TO EROSION CONTROL NOTE SHEET, CL01

FOUNDATION PREPARATION

FOUNDATION SUBSURFACE PREPARATION WINDSOR
WALMART SUPERCENTER, WINDSOR, COLORADO
DECEMBER 9, 2024

SUPERCENTER BUILDING

1. UNLESS SPECIFICALLY INDICATED OTHERWISE IN THE DRAWINGS AND/OR SPECIFICATIONS, THE LIMITS OF THIS SUBSURFACE PREPARATION ARE CONSIDERED TO BE THAT PORTION OF THE SITE DIRECTLY BEARING AND 10- FEET BEYOND THE BUILDING AND APPOINTMENTS.
2. APPOINTMENTS ARE THOSE ITEMS ATTACHED TO THE BUILDING PROPER (REFER TO DRAWING SHEET SP), TYPICALLY INCLUDING, BUT NOT LIMITED TO, THE BUILDING SIDEWALKS, GARDEN CENTER, PORCHES, RAMPS, STAIRS, TRUCK WELLS/DOCKS, CONCRETE APPROACH AT THE AUTOMATIC CENTER, COMPACTOR PAUL, ETC. THE BASE DOES NOT EXTEND BEYOND THE LIMITS OF THE ACTUAL BUILDING AND THE APPOINTMENTS.
3. ESTABLISH THE FINAL SUBGRADE ELEVATION TO ALLOW FOR THE CONCRETE SLAB, AND BASE. REFERENCE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR REQUIRED SLAB THICKNESS. THE MINIMUM 4-INCH THICK BASE MATERIAL SHALL CONFORM TO COLORADO DOT STANDARD SPECIFICATION SECTION 703.1 CLASS A AGGREGATE BASE COURSE (ABC). THE BASE MATERIAL SHALL BE FREE OF ORGANIC OR VOLATILE ORGANIC MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ACCURATE MEASUREMENTS FOR ALL CUT AND FILL DEPTHS REQUIRED. ANY PROPOSED EQUIVALENT ALTERNATIVE BASE OR SUBGRADE MATERIAL MUST BE SUBMITTED FOR APPROVAL WITHIN 30 DAYS AFTER AWARD OF CONTRACT. ANY EQUIVALENT ALTERNATIVE SHALL ONLY BE USED IF APPROVED IN WRITING BY THE CEC AND AOR.
4. EXISTING PAVEMENTS AND BELOW-GRADE STRUCTURES SHALL BE REMOVED FROM THE BUILDING AREA. REMOVE SURFACE VEGETATION, TOPSOIL, ROOT SYSTEMS, ORGANIC MATERIAL, EXISTING FILL, AND SOFT OR OTHERWISE UNDESIRABLE MATERIAL FROM THE BUILDING AREA. OVERCURE/CAVE 2- FEET BELOW FOUNDATIONS / SLABS / PAVEMENTS. PROPERLY SPORED SURGRADE REMOVE AND REPLACE UNDESIRABLE AREAS WITH SUITABLE MATERIAL. SUBGRADE MATERIAL SHALL BE FREE OF ORGANIC AND OTHER DELETERIOUS MATERIALS AND SHALL MEET THE FOLLOWING REQUIREMENTS:

PLASTICITY REQUIREMENTS FOR IMPORTED FILL (ATTERBERG LIMITS)	
LIQUID LIMIT	30 OR LESS
PLASTICITY INDEX	10 OR LESS

5. SUBGRADE MATERIAL SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 8-INCHES IN THICKNESS AND COMPACTED TO AT LEAST 98 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D998) IN THE BUILDING AREA (95 PERCENT BELOW PAVEMENT) AT A MOISTURE CONTENT WITHIN 0 PERCENT TO 3 PERCENT ABOVE THE OPTIMUM FOR CLAYS AND WITHIN 2 PERCENT BELOW TO 2 PERCENT ABOVE THE OPTIMUM FOR SANDS.
6. THE FOUNDATION SYSTEM SHALL BE A SHALLOW FOUNDATION SYSTEM CONSISTING OF ISOLATED SPREAD FOOTINGS AT COLUMNS, CONTINUOUS SPREAD FOOTINGS AT WALLS, AND SLABS-ON-GRADE BEARING ON 2 FEET OF MOISTURE CONDITIONED AND RECOMPACTED ON-SITE SOILS, EXTENDING 4- FEET LATERALLY OUTSIDE LIMITS. PAVEMENTS SHALL BEAR ON 2 FEET OF MOISTURE CONDITIONED AND RECOMPACTED ON-SITE SOILS, EXTENDING TO BACK OF CURB AND UNDER SIDEWALK.
7. FOR C&G PROPP CANOPIES, FOUNDATION SYSTEM MAY BE CONSTRUCTED AS OUTLINED ABOVE ON SHALLOW FOUNDATIONS OR CONSIST OF SHORT AUGER-CAST PILES BEARING NO LESS THAN 4- FEET BELOW EXISTING GRADE.
8. THIS FOUNDATION SUBSURFACE PREPARATION DOES NOT CONSTITUTE A COMPLETE SITE WORK SPECIFICATION. IN CASE OF CONFLICT INFORMATION COVERED IN THIS PREPARATION SHALL TAKE PRECEDENCE OVER THE WAL-MART SPECIFICATIONS. REFER TO THE SPECIFICATIONS FOR SPECIFIC INFORMATION NOT COVERED IN THIS PREPARATION. THIS INFORMATION WAS TAKEN FROM A GEOTECHNICAL REPORT PREPARED BY PSL, INC., DATED DECEMBER 9, 2024 (GEOTECHNICAL REPORT IS FOR INFORMATION ONLY AND IS NOT A CONSTRUCTION SPECIFICATION).
9. THIS FOUNDATION SUBSURFACE PREPARATION DOES NOT CONSTITUTE A COMPLETE SITE WORK SPECIFICATION. IN CASE OF CONFLICT INFORMATION COVERED IN THIS PREPARATION SHALL TAKE PRECEDENCE OVER THE WAL-MART SPECIFICATIONS. REFER TO THE SPECIFICATIONS FOR SPECIFIC INFORMATION NOT COVERED IN THIS PREPARATION. THIS INFORMATION WAS TAKEN FROM A GEOTECHNICAL REPORT PREPARED BY PSL, INC., DATED DECEMBER 9, 2024 (GEOTECHNICAL REPORT IS FOR INFORMATION ONLY AND IS NOT A CONSTRUCTION SPECIFICATION).

FUEL STATION SERVICE BUILDING

1. UNLESS SPECIFICALLY INDICATED OTHERWISE IN THE DRAWINGS AND/OR SPECIFICATIONS, THE LIMITS OF THIS SUBSURFACE PREPARATION ARE CONSIDERED TO BE THAT PORTION OF THE SITE DIRECTLY BEARING AND 10- FEET BEYOND THE BUILDING AND APPOINTMENTS.
2. APPOINTMENTS ARE THOSE ITEMS ATTACHED TO THE BUILDING PROPER (REFER TO DRAWING SHEET SP), TYPICALLY INCLUDING, BUT NOT LIMITED TO, THE BUILDING SIDEWALKS, PORCHES, RAMPS, STAIRS, TRUCK WELLS/DOCKS, CONCRETE APPROACH, COMPACTOR PAUL, ETC. THE BASE DOES NOT EXTEND BEYOND THE LIMITS OF THE ACTUAL BUILDING AND THE APPOINTMENTS.
3. ESTABLISH THE FINAL SUBGRADE ELEVATION TO ALLOW FOR THE CONCRETE SLAB, AND BASE. REFERENCE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR REQUIRED SLAB THICKNESS. THE MINIMUM 4-INCH THICK BASE MATERIAL SHALL CONFORM TO COLORADO DOT STANDARD SPECIFICATION SECTION 703.1 CLASS A AGGREGATE BASE COURSE (ABC). THE BASE MATERIAL SHALL BE FREE OF ORGANIC OR VOLATILE ORGANIC MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ACCURATE MEASUREMENTS FOR ALL CUT AND FILL DEPTHS REQUIRED. ANY PROPOSED EQUIVALENT ALTERNATIVE BASE OR SUBGRADE MATERIAL MUST BE SUBMITTED FOR APPROVAL WITHIN 30 DAYS AFTER AWARD OF CONTRACT. ANY EQUIVALENT ALTERNATIVE SHALL ONLY BE USED IF APPROVED IN WRITING BY THE CEC AND AOR.
4. EXISTING PAVEMENTS AND BELOW-GRADE STRUCTURES SHALL BE REMOVED FROM THE BUILDING AREA. REMOVE SURFACE VEGETATION, TOPSOIL, ROOT SYSTEMS, ORGANIC MATERIAL, EXISTING FILL, AND SOFT OR OTHERWISE UNDESIRABLE MATERIAL FROM THE BUILDING AREA. OVERCURE/CAVE 2- FEET BELOW FOUNDATIONS / SLABS / PAVEMENTS. PROPERLY SPORED SURGRADE REMOVE AND REPLACE UNDESIRABLE AREAS WITH SUITABLE MATERIAL. SUBGRADE MATERIAL SHALL BE FREE OF ORGANIC AND OTHER DELETERIOUS MATERIALS AND SHALL MEET THE FOLLOWING REQUIREMENTS:

PLASTICITY REQUIREMENTS FOR IMPORTED FILL (ATTERBERG LIMITS)	
LIQUID LIMIT	30 OR LESS
PLASTICITY INDEX	10 OR LESS

5. SUBGRADE MATERIAL SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 8-INCHES IN THICKNESS AND COMPACTED TO AT LEAST 98 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D998) IN THE BUILDING AREA (95 PERCENT BELOW PAVEMENT) AT A MOISTURE CONTENT WITHIN 0 PERCENT TO 3 PERCENT ABOVE THE OPTIMUM FOR CLAYS AND WITHIN 2 PERCENT BELOW TO 2 PERCENT ABOVE THE OPTIMUM FOR SANDS.
6. THE FOUNDATION SYSTEM SHALL BE A SHALLOW FOUNDATION SYSTEM CONSISTING OF ISOLATED SPREAD FOOTINGS AT COLUMNS, CONTINUOUS SPREAD FOOTINGS AT WALLS, AND SLABS-ON-GRADE BEARING ON 2 FEET OF MOISTURE CONDITIONED AND RECOMPACTED ON-SITE SOILS, EXTENDING 4- FEET LATERALLY OUTSIDE LIMITS. PAVEMENTS SHALL BEAR ON 2 FEET OF MOISTURE CONDITIONED AND RECOMPACTED ON-SITE SOILS, EXTENDING TO BACK OF CURB AND UNDER SIDEWALK.
7. FOR FUEL CANOPIES, FOUNDATION SYSTEM MAY BE CONSTRUCTED AS OUTLINED ABOVE ON SHALLOW FOUNDATIONS OR CONSIST OF SHORT AUGER-CAST PILES BEARING NO LESS THAN 4- FEET BELOW EXISTING GRADE.
8. THIS FOUNDATION SUBSURFACE PREPARATION DOES NOT CONSTITUTE A COMPLETE SITE WORK SPECIFICATION. IN CASE OF CONFLICT INFORMATION COVERED IN THIS PREPARATION SHALL TAKE PRECEDENCE OVER THE WAL-MART SPECIFICATIONS. REFER TO THE SPECIFICATIONS FOR SPECIFIC INFORMATION NOT COVERED IN THIS PREPARATION. THIS INFORMATION WAS TAKEN FROM A GEOTECHNICAL REPORT PREPARED BY PSL, INC., DATED DECEMBER 9, 2024 (GEOTECHNICAL REPORT IS FOR INFORMATION ONLY AND IS NOT A CONSTRUCTION SPECIFICATION).

SOIL PREPARATION AND PAVEMENT DESIGN NOTE

SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS: GEOTECHNICAL ENGINEERING CONSULTATION AND ANALYSIS, PROPOSED WALMART SUPERCENTER #03797-000, HIGHWAY 393 & 17TH STREET, WINDSOR, CO.
GEOTECHNICAL ENGINEER: PROFESSIONAL SERVICE INDUSTRIES, INC.
PROJECT NO: 0522920 DATE: DECEMBER 9, 2024
THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

LEGEND

- PROPERTY BOUNDARY LINE
- PROPOSED BUILDING
- FUTURE BUILDING
- EXISTING ASPHALT PAVING TO REMAIN
- PROPOSED ASPHALT PAVING
- PROPOSED HEAVY DUTY ASPHALT
- EXISTING CONCRETE PAVING/SIDEWALK
- PROPOSED CONCRETE PAVING/SIDEWALK
- PROPOSED HEAVY DUTY CONCRETE PAVING
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING STORM SEWER (LESS THAN 12")
- PROPOSED STORM SEWER (LESS THAN 12")
- PROPOSED STORM SEWER (12" & LARGER)
- PROPOSED ROOF LINE
- PROPOSED SPOT ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- FINISHED FLOOR
- FINISHED GRADE
- TOP OF SIDEWALK
- HIGH POINT
- LOW POINT
- WATCH EXISTING
- BOTTOM OF RAMP
- TOP OF RAMP

ON-SITE FAT CLAY SOILS CANNOT BE USED FOR FILL MATERIAL OVER THE OUTLOTS.

CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF VESTIBLES, SLOPED PAVING, CUT PORCHES, RAMPS AND TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.

WARNING NOTE:
WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF HOT WEATHER, PROVIDE ADEQUATE SHADING, DRINKING AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO MASTER SITE SPECIFICATIONS.

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO SIGHTING WORK.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

UNLESS OTHERWISE NOTED, CONTRACTOR TO PROTECT LANDSCAPING IN PLACE AND REPLACE TO MATCH IF DISTURBED. CONTRACTOR TO CAP AND RENTAL IRRIGATION AS NECESSARY TO MAINTAIN IRRIGATION TO EXISTING LANDSCAPING.

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

BASIS OF BEARING

ALL BEARINGS ARE BASED ON THE EAST LINE OF LOT 2, ADJACENT FARM SUBDIVISION 19TH FIRM, HAVING AN ASSUMED BEARING OF S00°45'E74", AND MONUMENTED AT THE NORTH END BY A N.C. 4 REBAR OF UNKNOWN LENGTH WITH A 1" RED PLASTIC CAP STAMPED "MAESTRO SURVEYING LS 3834P" AND AT THE SOUTH END BY A 4" REBAR OF UNKNOWN LENGTH WITH A 1" RED PLASTIC CAP STAMPED "MAESTRO SURVEYING LS 3834P", WITH ALL OTHER BEARINGS RELATIVE THEREOF.

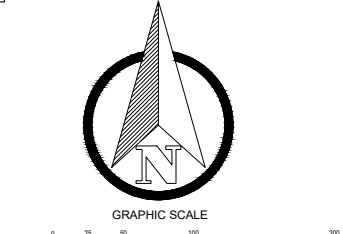
BENCHMARK

TOWN OF WINDSOR VERTICAL CONTROL, REVISED 12-11-06
FOUND 3-1/4" ALUMINUM CAP SET IN CONCRETE MARKED "BN 079" IN THE VICINITY OF THE SW CORNER SECTION 17, T19N, R10W, AT SOUTHWEST CORNER OF 18TH STREET AND MAIN STREET (HOBART 392), 1" N. OF 1/4" OF 1/4" OF SW OF TRAFFIC SIGNAL POLE.
NAVD 1985 ELEVATION: 4765.75

GPS POINT "WINDSOR 2" 10MM" METAL ROD IN SLEEVE IN FRONT LAWN OF THE WINDSOR HIGH SCHOOL, 60.8' SW FROM THE SQUARE METAL LIGHT POLE, 81.0' NW OF THE MOST NORTHERLY CORNER OF A BRICK HEADWALL.

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT. PRIOR TO CONSTRUCTION, REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



STIPULATION FOR REUSE
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Walmart
WINDSOR, CO
HIGHWAY 392 & 17TH STREET
STORE NUMBER: 03797-000
JOB NUMBER: WINDSOR03797-000
PHOTO: 171

ISSUE BLOCK

NO.	DATE	DESCRIPTION

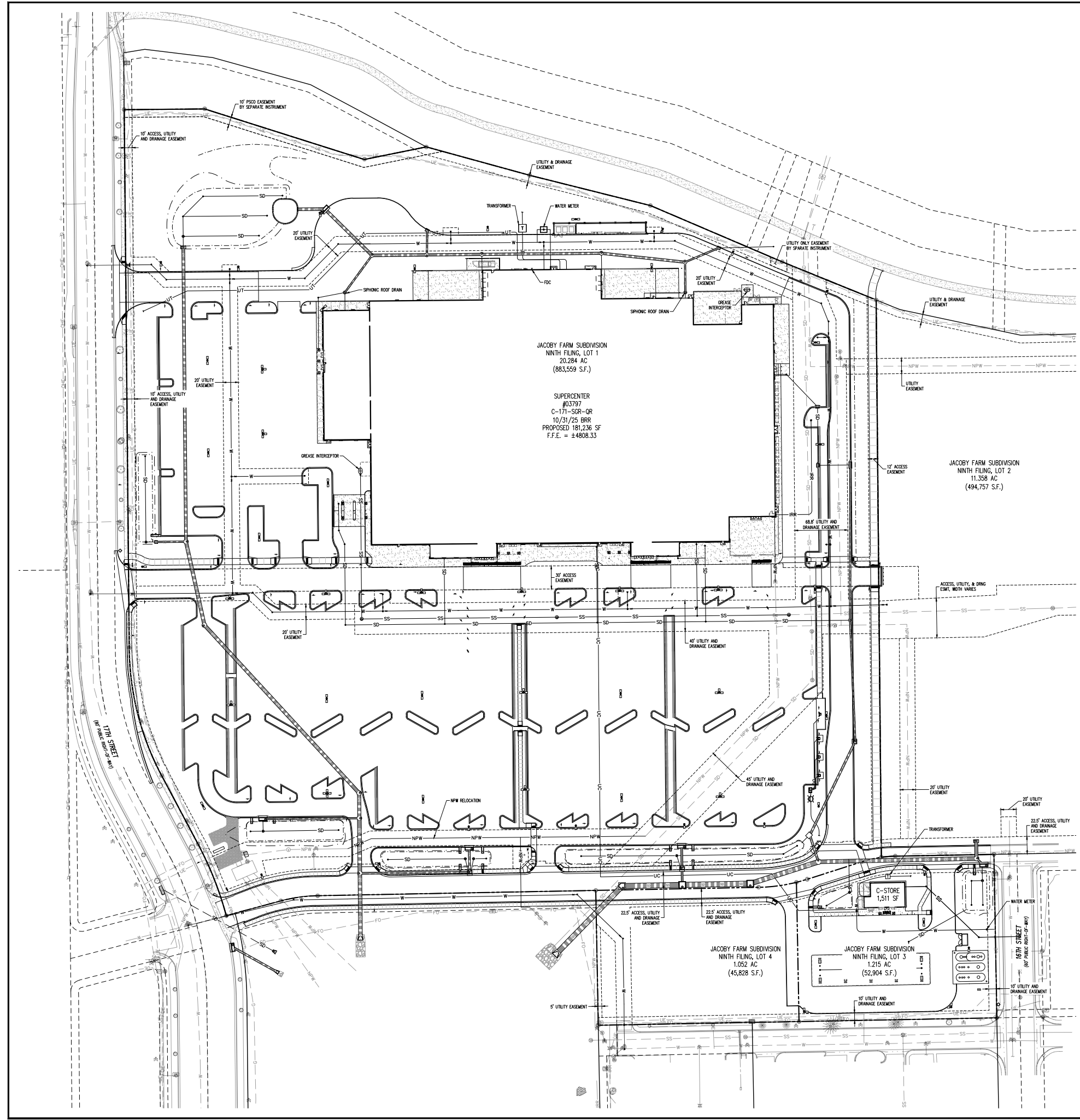
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DRAWN BY: EVR
PROTO CYCLE: N/A
DOCUMENT DATE: 05/29/2026

NOT FOR CONSTRUCTION

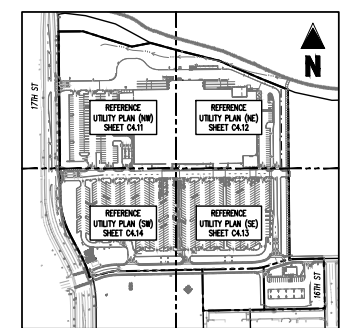
OVERALL GRADING PLAN

PAGE 26 OF 80
SHEET:

C3.10



- TOWN OF WINDSOR - UTILITY PLAN NOTES**
1. ALL WATERLINES SHALL BE C900, OR 18 PVC PIPE WITH A MINIMUM 12 GAGE INSULATED TRACER WIRE.
 2. ALL WATERLINES SHALL BE BURIED A MINIMUM OF 5 FEET BELOW FINISHED GRADE.
 3. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 10 FEET OF HORIZONTAL SEPARATION AND 18 INCHES OF VERTICAL SEPARATION BETWEEN ALL SEWER AND WATER LINES.
 4. ALL EXISTING UTILITIES ARE APPROXIMATELY SHOWN AND LOCATIONS NEED TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
 5. NO TREES SHALL BE LOCATED WITHIN 10 FEET OF FACILITIES.
 6. ALL GATE VALVES SHALL HAVE VALVE BODIES.
 7. FIRE SPRINKLER SERVICES SHALL BE MECHANICALLY RESTRAINED PVC WITH VALVE BODIES LABELED FIRE.
 8. FIRE HYDRANT BRANCH LINES SHALL BE 6 INCH MECHANICALLY RESTRAINED PVC UNLESS OTHERWISE NOTED AND APPROVED. NO HORIZONTAL BENDS OR OFFSETS SHALL BE USED WHEN INSTALLING FIRE HYDRANT BRANCH LINES.
 9. WATER SERVICE SHALL BE 1/2 INCH TYPE K COPPER UNLESS OTHERWISE NOTED.
 10. ALL FITTINGS SHALL BE MECHANICALLY RESTRAINED ALONG WITH THRUST BLOCK INSTALLATION.
 11. WHERE NON-PORTABLE WATERLINES CROSS ABOVE OR BELOW PORTABLE WATERLINES, THE NON-PORTABLE LINE SHALL BE INCISED WITH A C900 SLEEVE PER TOWN OF WINDSOR STANDARDS.
 12. ALL STORM BRANS CROSSING ABOVE WATERLINES SHALL BE ENCASED PER TOWN OF WINDSOR STANDARDS.
 13. SANITARY SEWER SERVICES SHALL BE 4" SDR 35 PVC UNLESS OTHERWISE NOTED.
 14. SANITARY SEWER MANHOLES SHALL BE 48 DIAMETER UNLESS OTHERWISE NOTED.
 15. ALL MANHOLES SHALL BE AIR TIGHT AND VACUUM TESTED IN ACCORDANCE WITH TOWN REQUIREMENTS.
 16. ALL SANITARY SEWER LINES SHALL BE SDR 35 PVC UNLESS OTHERWISE NOTED.



LEGEND

---	PROPERTY BOUNDARY LINE
---	PROPOSED BUILDING
---	EXISTING CURB & GUTTER
---	PROPOSED CURB & GUTTER
---	EXISTING WATER LINE
---	EXISTING NON-PORTABLE WATER LINE
---	PROPOSED WATER LINE
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING STORM SEWER (LESS THAN 12")
---	PROPOSED STORM SEWER (LESS THAN 12")
---	EXISTING UNDERGROUND ELECTRICAL
---	PROPOSED UNDERGROUND ELECTRICAL
---	EXISTING FIBER OPTIC LINE
---	PROPOSED FIBER OPTIC LINE
---	EXISTING UNDERGROUND TELEPHONE
---	PROPOSED UNDERGROUND TELEPHONE
---	EXISTING GAS LINE
---	PROPOSED GAS LINE
---	EXISTING ELECTRIC LIGHT POLE
---	EXISTING UTILITY POLE
---	EXISTING ELECTRIC CABINET
---	EXISTING ELECTRIC PEDESTAL
---	EXISTING ELECTRIC BOX
---	EXISTING PAD MOUNTED TRANSFORMER
---	EXISTING FIBER OPTIC PEDESTAL
---	EXISTING FIBER OPTIC VAULT
---	EXISTING FIBER OPTIC PULLBOX
---	EXISTING SANITARY SEWER MANHOLE
---	PROPOSED SANITARY SEWER MANHOLE
---	EXISTING STORM SEWER MANHOLE
---	PROPOSED STORM SEWER MANHOLE
---	EXISTING STORM INLET
---	EXISTING IRRIGATION VALVE
---	EXISTING WATER VALVE
---	EXISTING FIRE HYDRANT
---	EXISTING WATER METER
---	EXISTING WATER MANHOLE
---	PROPOSED WATER VALVE
---	PROPOSED WATER METER
---	PROPOSED FIRE HYDRANT

CONTRACTOR RESPONSIBILITY
 SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

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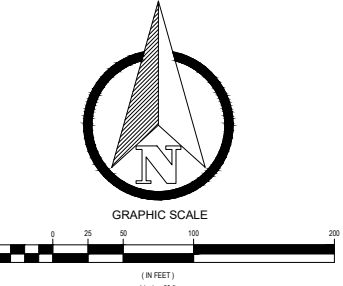
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BENCHMARK
 TOWN OF WINDSOR VERTICAL CONTROL, REVISION 12-11-06
 FOUND 3-1/2" ALUMINUM CAP SET IN CONCRETE MARKED "BENCH" IN THE VICINITY OF THE SW CORNER SECTION 17, T4N, R6W, AT SOUTHWEST CORNER OF 18TH STREET AND MAIN STREET (HIGHWAY 392), 1' N. OF 1/2" W. OF 5/8" W. OF TRAFFIC SIGNAL POLE.
 NAD 83 ELEVATION: 4795.75

CAUTION - NOTICE TO CONTRACTOR
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 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

TOWN OF WINDSOR DRAWING APPROVAL
 REVIEW IS FOR GENERAL COMPLIANCE WITH TOWN STANDARDS. NO RESPONSIBILITY IS ASSUMED FOR CORRECTNESS OF DESIGN.
 BY: _____ DATE: _____



STIPULATION FOR REUSE
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Walmart
 WINDSOR, CO
 HIGHWAY 392 & 17TH STREET
 STORE NUMBER: 03797-000
 JOB NUMBER: WINDSOR2700 PHOTO: 171

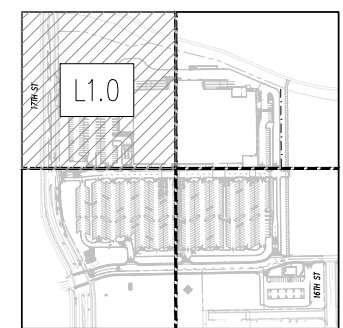
ISSUE BLOCK

CHECKED BY: JDT
 DRAWN BY: EVR
 PHOTO CYCLE: N/A
 DOCUMENT DATE: 05/29/2026

NOT FOR CONSTRUCTION

OVERALL UTILITY PLAN

SHEET: **C4.10**



KEY MAP
APPX. 1" = 300'

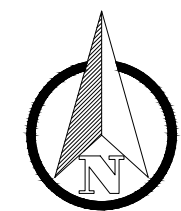
LANDSCAPE LEGEND

- | SYMBOL | COMMON NAME |
|---------------------------|---|
| DECIDUOUS TREES | |
| (Symbol) | CHINKAPIN OAK |
| (Symbol) | FRONTIER ELM |
| (Symbol) | GREENSPICE LITTLELEAF LINDEN |
| (Symbol) | KENTUCKY COFFEETREE |
| (Symbol) | SHADEMASTER HONEY LOCUST |
| EVERGREEN TREES | |
| (Symbol) | AUSTRIAN PINE |
| (Symbol) | BABY BLUE EYES COLORADO BLUE SPRUCE |
| (Symbol) | PONDEROSA PINE |
| ORNAMENTAL TREES | |
| (Symbol) | HOT WINGS TATARIAN MAPLE |
| (Symbol) | SPRING SNOW CRABAPPLE |
| EXISTING TREES | |
| (Symbol) | EXISTING DECIDUOUS TREE |
| (Symbol) | EXISTING DECIDUOUS TREE (TO BE PROTECTED DURING CONSTRUCTION) |
| (Symbol) | EXISTING EVERGREEN TREE (TO BE PROTECTED DURING CONSTRUCTION) |
| DECIDUOUS SHRUBS | |
| (Symbol) | ALPINE CURRANT |
| (Symbol) | BLUE MIST SPIREA |
| (Symbol) | BURKWOOD VIBURNUM |
| (Symbol) | GRO-LOW FRAGRANT SUMAC |
| (Symbol) | LEADPLANT |
| (Symbol) | LITTLE DEVIL DWARF NINEBARK |
| (Symbol) | LITTLE PRINCESS JAPANESE SPIREA |
| (Symbol) | MISS KIM KOREAN LILAC |
| (Symbol) | PAWNEE BUTTES SAND CHERRY |
| (Symbol) | PURPLE LEAF SAND CHERRY |
| (Symbol) | VANKOUTTE SPIREA |
| EVERGREEN SHRUBS | |
| (Symbol) | BIRD'S NEST NORWAY SPRUCE |
| (Symbol) | BLUE RUD JUNIPER |
| (Symbol) | PANCHITO MANZANITA |
| ORNAMENTAL GRASSES | |
| (Symbol) | BLONDE AMBITION BLUE GRAMA |
| (Symbol) | SHEMANDOH SWITCH GRASS |
| GROUND COVERS | |
| (Symbol) | EXISTING LANDSCAPE TO REMAIN |
| MULCH | |
| (Symbol) | 3/4" DESERT SAND RIVER ROCK MULCH |
| (Symbol) | DARK BROWN HARDWOOD MULCH |
| SOD | |
| (Symbol) | EXISTING SOD TO REMAIN |
| SOD/SEED | |
| (Symbol) | LOW GROW NATIVE SEED MIX |
| (Symbol) | NATIVE SEED MIX FOR BIORETENTION |

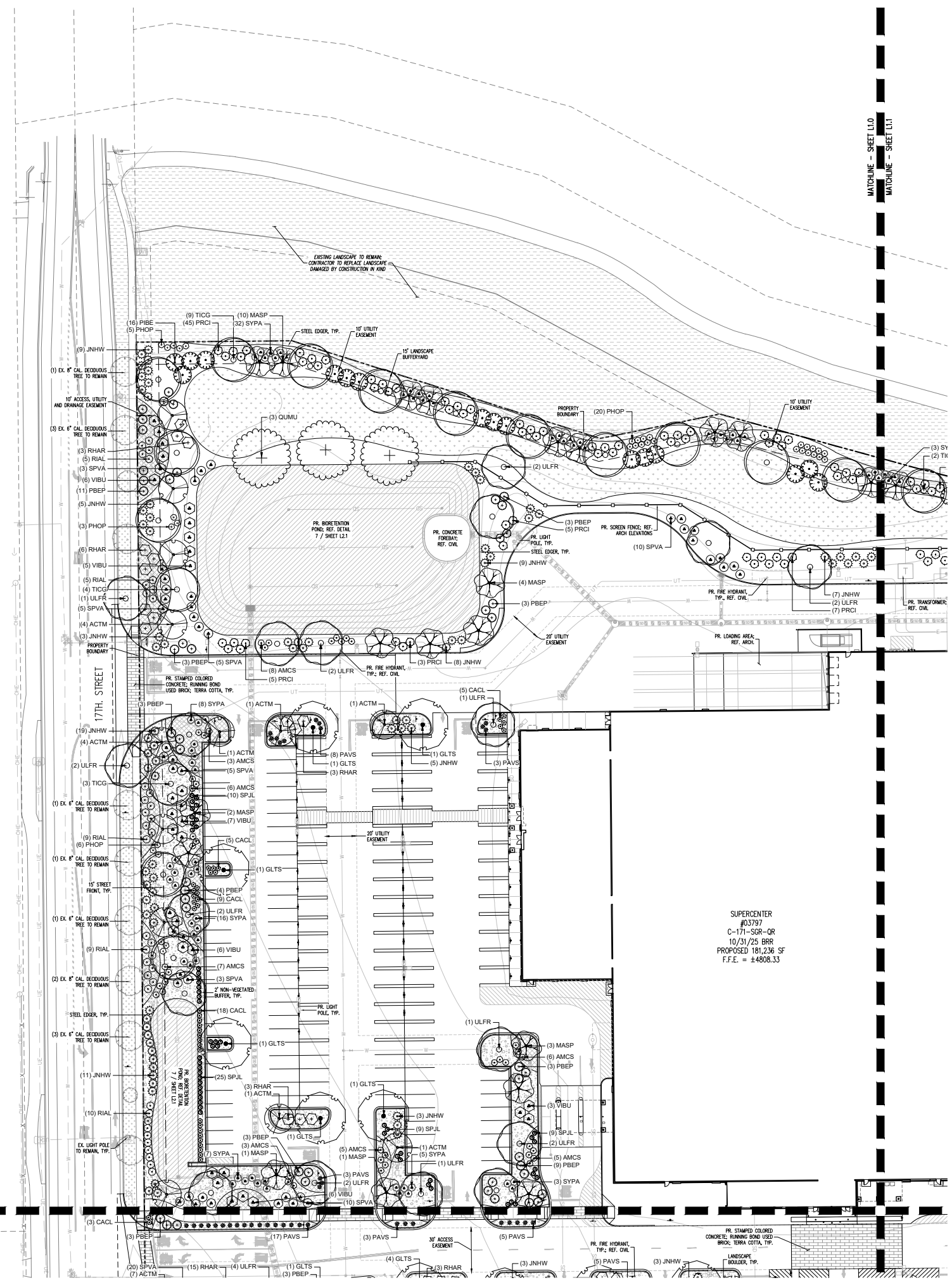
NOTE:
CONTRACTOR TO REPLACE EXISTING LANDSCAPE DAMAGED BY CONSTRUCTION IN KIND.

CAUTION - NOTICE TO CONTRACTOR

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- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH TRENCHING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



GRAPHIC SCALE
(IN FEET)
1" = 30.0'



MATCHLINE - SHEET L1.0
MATCHLINE - SHEET L1.3

Galloway
1800 S. Colorado Blvd. Suite 200
Denver, CO 80202
303.770.8884
gallowayus.com

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Walmart*
WINDSOR, CO
HIGHWAY 392 & 17TH STREET
STORE NUMBER: 03797-000
JOB NUMBER: WINDSOR0200
Photo: 171

ISSUE BLOCK

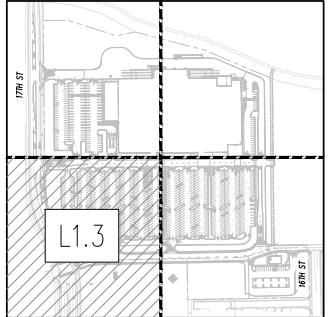
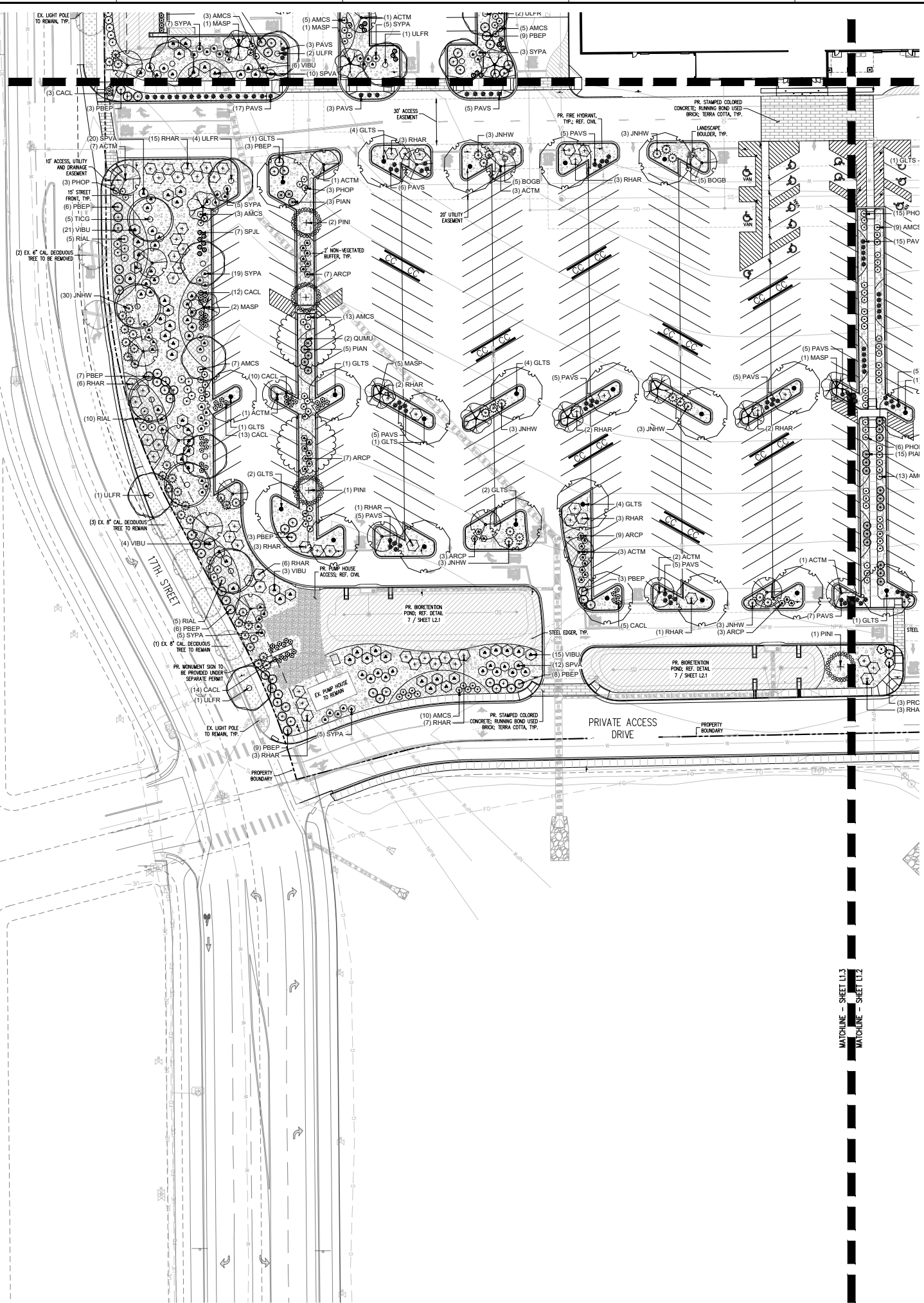
NO.	DATE	DESCRIPTION

CHECKED BY: SM
DRAWN BY: T.R.
PROTO CYCLE: N/A
DOCUMENT DATE: 05/29/2026

NOT FOR CONSTRUCTION

LANDSCAPE PLAN - N.W.
PAGE 74 OF 80
SHEET:
L1.0

MATCHLINE - SHEET L1.0
MATCHLINE - SHEET L1.3



KEY MAP
APPX. 1" = 300'

LANDSCAPE LEGEND

SYMBOL COMMON NAME

DECIDUOUS TREES

- CHINKAPIN OAK
- FRONTIER ELM
- GREENSPICE LITTLELEAF LINDEN
- KENTUCKY COFFEETREE
- SHADEMASTER HONEY LOCUST

EVERGREEN TREES

- AUSTRIAN PINE
- BABY BLUE EYES COLORADO BLUE SPRUCE
- PONDEROSA PINE

ORNAMENTAL TREES

- HOT WINGS TATARIAN MAPLE
- SPRING SNOW CRABAPPLE

EXISTING TREES

- EXISTING DECIDUOUS TREE
- EXISTING DECIDUOUS TREE (TO BE PROTECTED DURING CONSTRUCTION)
- EXISTING EVERGREEN TREE (TO BE PROTECTED DURING CONSTRUCTION)

DECIDUOUS SHRUBS

- ALPINE CURRANT
- BLUE MIST SPIREA
- BURKWOOD VIBURNUM
- GRO-Low FRAGRANT SUMAC
- LEADPLANT
- LITTLE DEVIL DWARF NINEBARK
- LITTLE PRINCESS JAPANESE SPIREA
- MISS KIM KOREAN LILAC
- PAWNEE BUTTES SAND CHERRY
- PURPLE LEAF SAND CHERRY
- VANKOUTTE SPIREA

EVERGREEN SHRUBS

- BIRD'S NEST NORWAY SPRUCE
- BLUE RUD JUMPER
- PANCHITO MANZANITA

ORNAMENTAL GRASSES

- BLONDE AMBITION BLUE GRAMA
- SHEMAMDOAH SWITCH GRASS

GROUND COVERS

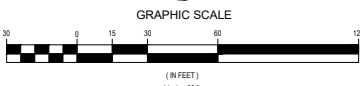
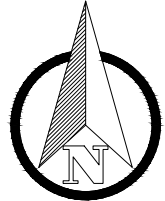
- EXISTING LANDSCAPE TO REMAIN
- MULCH
- 3/4" DESERT SAND RIVER ROCK MULCH
- DARK BROWN HARDWOOD MULCH
- SOD
- EXISTING SOD TO REMAIN
- SOD/SEED
- LOW GROW NATIVE SEED MIX
- NATIVE SEED MIX FOR BIORETENTION

NOTE:
CONTRACTOR TO REPLACE EXISTING LANDSCAPE DAMAGED BY CONSTRUCTION IN KIND.

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2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH PROBING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



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Walmart
WINDSOR, CO
HIGHWAY 392 & 17TH STREET
STORE NUMBER: 03797-000
JOB NUMBER: WINDSOR200
Photo: 171

ISSUE BLOCK

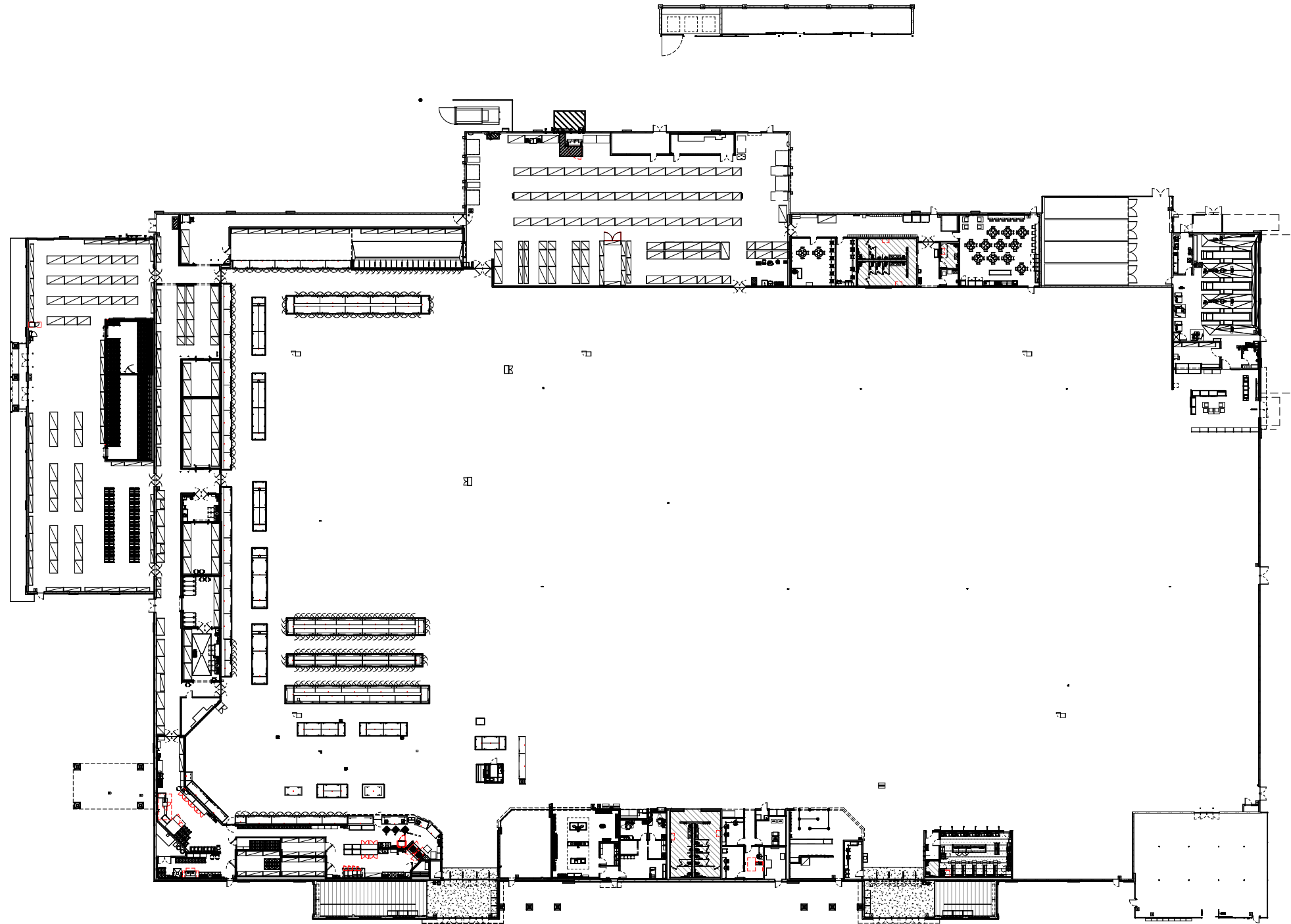
CHECKED BY: SRM
DRAWN BY: TJR
PROTO CYCLE: N/A
DOCUMENT DATE: 05/29/2026

NOT FOR CONSTRUCTION

LANDSCAPE PLAN - S.W.

PAGE 77 OF 80

SHEET: L1.3





**P218E AND PF27
TRUE BLUE
PAINT
MFR: PPG
TRUE BLUE**



**P214E MEDIUM BROWN
PAINT
MFR: PPG
#1021-4 DIVERSION**



**PF81 BLACK
PAINT
MFR: PPG
#1001-7 BLACK MAGIC
USED TO COLOR MATCH
FOR VENDOR-PROVIDED
ORNAMENTAL FENCE**



**P216E DARK BROWN
PAINT
MFR: PPG
#1021-6 CURLEW**



**P217E WALMART DARK BRONZE
PAINT
MFR: PPG
#1021-7 CABIN FEVER**



**S5 UMBER CREEK
PRO-FIT LEDGESTONE
STACKED STONE VENEER
MFR: CULTURED STONE**

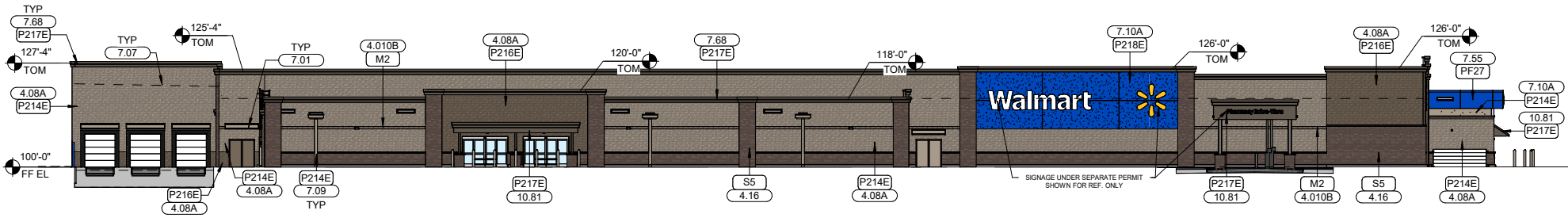


**SMOOTH FACE - MOJAVE BROWN
INTEGRALLY COLORED CMU
MFR: ECHELON MASONRY**

COLOR LEGEND	
M2	"MOJAVE BROWN" BY ECHELON
P214E	MEDIUM BROWN
P216E	DARK BROWN
P217E	DARK BRONZE
P218E	PAINT TRUE BLUE
PF27	TRUE BLUE
PF81	BLACK
S5	PRO-FIT LEDGESTONE "UMBER CREEK"

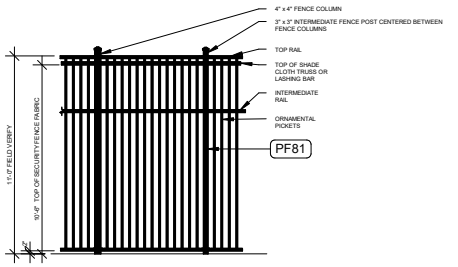
KEYNOTE LEGEND BOD	
1.07	BALER/COMPACTOR
2.04	ORNAMENTAL METAL FENCING
3.05	CONCRETE CURB
3.20	2" PRECAST CONCRETE SILL
4.08A	8" DECORATIVE SPLIT FACE CMU
4.09A	12" DECORATIVE SPLIT FACE CMU
4.010B	8" DECORATIVE SMOOTH FACE INTEGRALLY COLORED CMU
4.16	MANUFACTURED STONE VENEER
4.35	40"Wx38"H OPENING AT TRASH COMPACTOR, BOTTOM OF OPENING IS 42" AFF
5.06A	METAL COLUMN
5.09	JIB CRANE HOIST ARM AND RAILING ASSEMBLY
5.11	STEEL LADDER
5.29	1-1/2" GALVANIZED STEEL PIPE RAIL, REF SPECS
7.01	SHEET METAL DOOR HOOD PAINTED TO MATCH ADJACENT UNO
7.07	ROOF LINE BEYOND
7.09	METAL DOWNSPOUT, PREFINISHED
7.10A	1-1/2" EXT. INSULATION FINISH SYSTEM (EIFS)
7.55	ACM PANEL SYSTEM
7.65	PREFINISHED METAL FLASHING
7.68	EIFS CORNICE
8.02	HOLLOW METAL DOOR AND FRAME
10.81	METAL CANOPY
12.24	VENDING MACHINES
12.44	SELF SERVE PROPANE KIOSK

ROOF TOP MECHANICAL EQUIPMENT SHOWN AS DASHED. WILL NOT BE VISIBLE FROM PROPERTY LINE/STREET



4 SIDE ELEVATION
1" = 20'-0"

5 FENCE PANEL
3/16" = 1'-0"

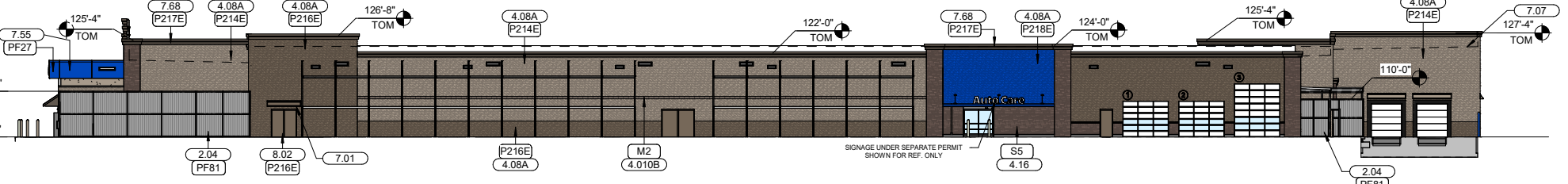


FRONT ELEVATION

MATERIAL	AREA	PERCENT
EIFS - TRUE BLUE	1,680	12%
ACM PANEL - TRUE BLUE	360	3%
TOTAL FACADE SQUARE FOOTAGE	14,201	100%

LEFT ELEVATION

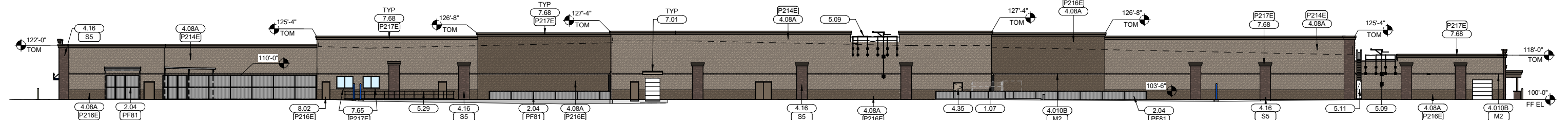
MATERIAL	AREA	PERCENT
EIFS - TRUE BLUE	795	8.25%
ACM PANEL - TRUE BLUE	91	1%
TOTAL FACADE SQUARE FOOTAGE	9,642	100%



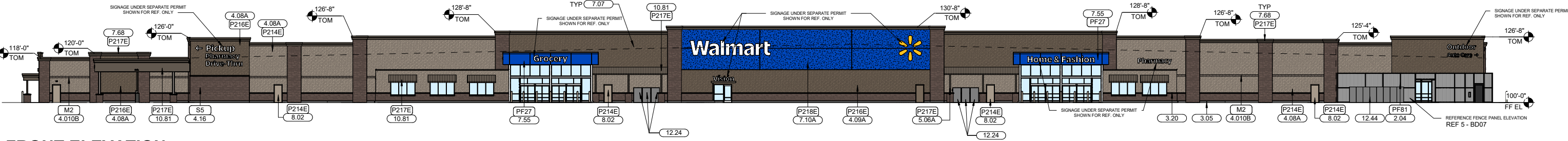
3 SIDE ELEVATION
1" = 20'-0"

RIGHT ELEVATION

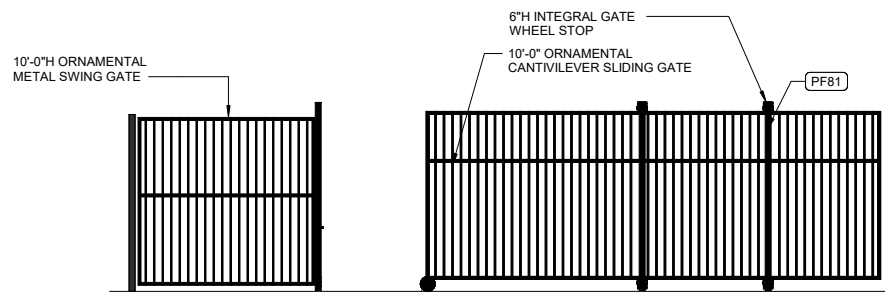
MATERIAL	AREA	PERCENT
SPLIT CMU - TRUE BLUE	440	5%
ACM PANEL - TRUE BLUE	91	1%
TOTAL FACADE SQUARE FOOTAGE	9,112	100%



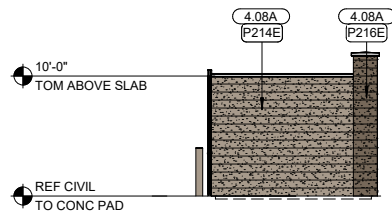
2 REAR ELEVATION
1" = 20'-0"



1 FRONT ELEVATION
1" = 20'-0"



6 ORNAMENTAL GATE
3/16" = 1'-0"

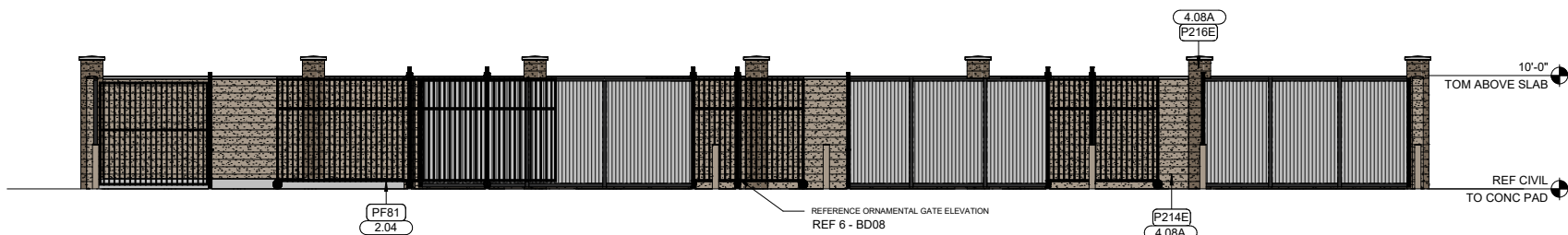


5 BPS SIDE ELEVATION
1/8" = 1'-0"

KEYNOTE LEGEND BOD	
2.04	ORNAMENTAL METAL FENCING
4.08A	8" DECORATIVE SPLIT FACE CMU

COLOR LEGEND	
P214E	MEDIUM BROWN
P216E	DARK BROWN
PF81	BLACK

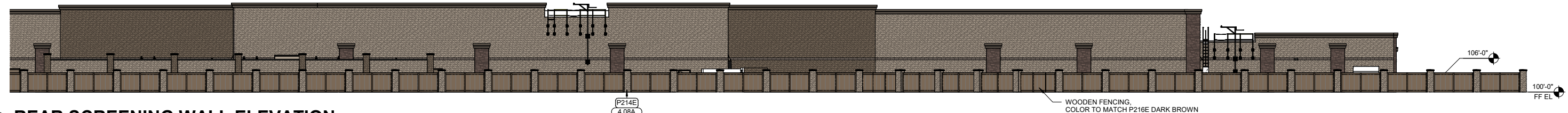
PROTO ELEVATION ORDINANCE COMPARISON			
OVERLAY DIST/AHJ	DEFICIENT	MEETS	ADDITIONAL
GLAZING		X	
FACADE MASSING	X		Per Jurisdiction no metal materials allowed at Vestibules
ARTICULATION OPTIONS		X	
COLORS		X	
ROOF PLANES		X	Adjusted parapets on front wall per cornice treatment
CORNICE TREATMENTS	X		Added enhanced cornice per city ordinance.
ROOFTOP EQUIPMENT SCREENING	X		Raised parapets from adjacent residential district per city ordinance.
ENTRANCE ARTICULATION		X	
ENTRANCE LANDSCAPING		X	
OUTDOOR STORAGE SCREENING	X		Added outdoor equipment screening per city ordinance



4 BPS FRONT ELEVATION
1/8" = 1'-0"



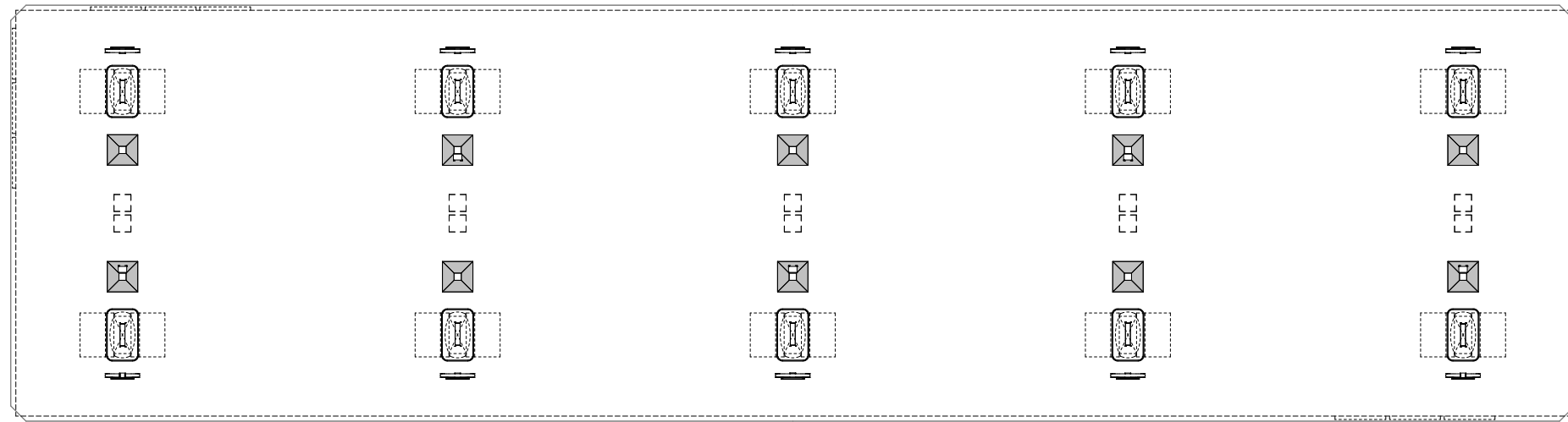
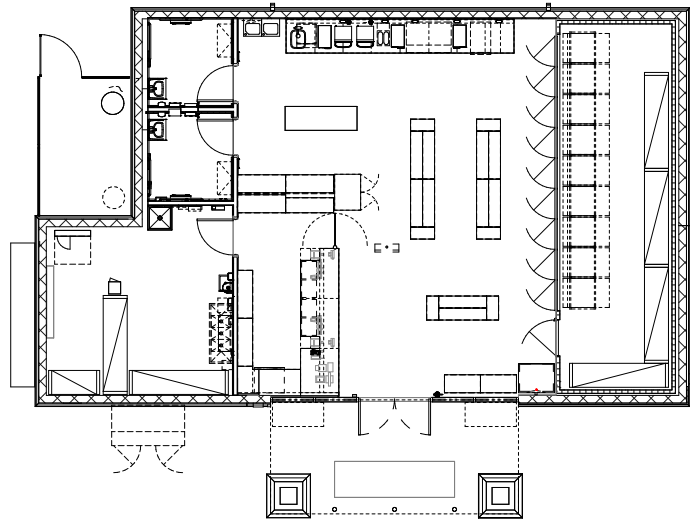
3 SIDE SCREENING WALL
1/16" = 1'-0"



2 REAR SCREENING WALL ELEVATION
1/16" = 1'-0"



1 REAR SCREENING WALL ELEVATION
1/16" = 1'-0"





P218E TRUE BLUE PAINT
MFR: PPG
TRUE BLUE



P214E MEDIUM BROWN PAINT
MFR: PPG
#1021-4 DIVERSION
USED ON SPLIT FACE



P216E DARK BROWN PAINT
MFR: PPG
#1021-6 CURLEW



P217E WALMART DARK BRONZE PAINT
MFR: PPG
#1021-7 CABIN FEVER



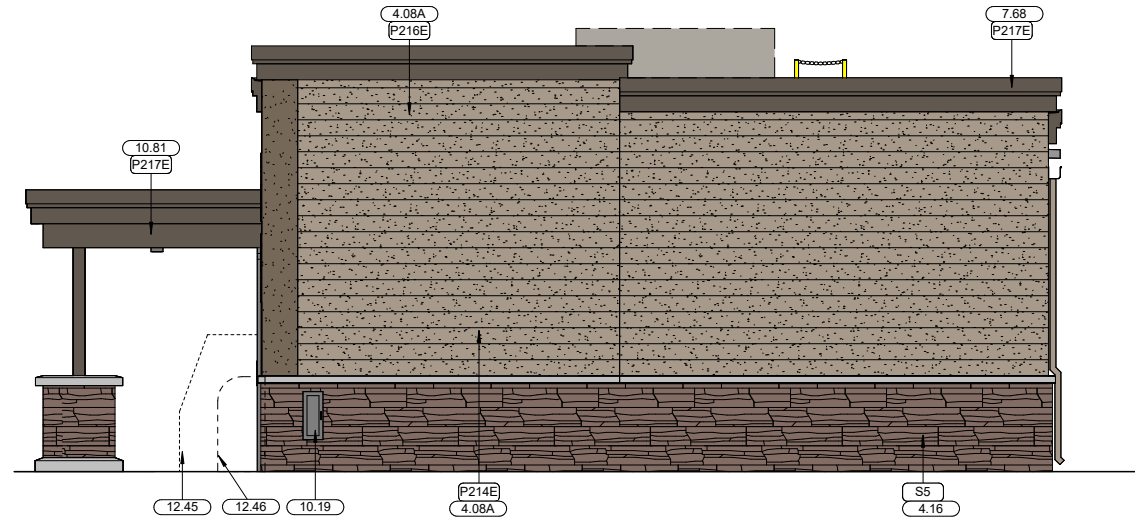
S4 UMBER CREEK STACKED STONE VENEER
MFR: CULTURED STONE

MATERIAL	AREA	PERCENT
EIFS - TRUE BLUE	137	15%
TOTAL FACADE SQUARE FOOTAGE	910	100%

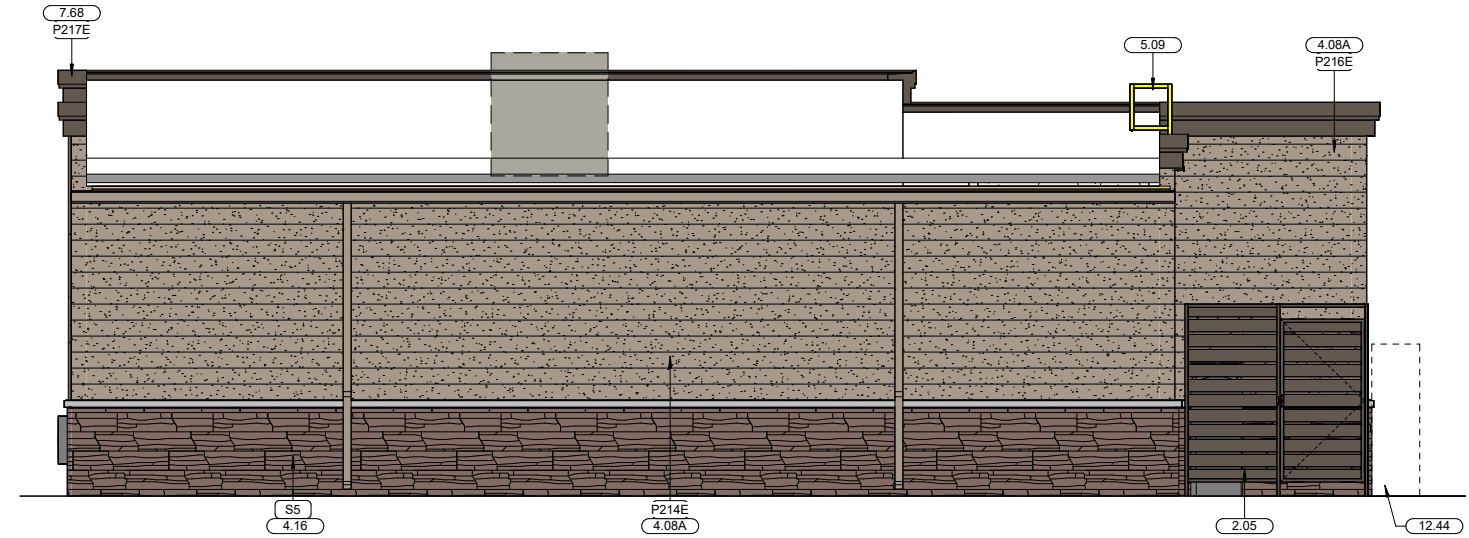
COLOR LEGEND	
P214E	MEDIUM BROWN
P216E	DARK BROWN
P217E	DARK BRONZE
P218E	PAINT TRUE BLUE
S5	PRO-FIT LEDGESTONE "UMBER CREEK"

KEYNOTE LEGEND BOD	
2.05	LOUVERED METAL FENCING
4.08A	8" DECORATIVE SPLIT FACE CMU
4.16	MANUFACTURED STONE VENEER
5.09	JIB CRANE HOIST ARM AND RAILING ASSEMBLY
7.10A	1-1/2" EXT. INSULATION FINISH SYSTEM (EIFS)
7.68	EIFS CORNICE
10.19	LOCKABLE FIRE EXTINGUISHER CABINET
10.81	METAL CANOPY
12.44	SELF SERVE PROPANE KIOSK
12.45	ICE MERCHANTISER
12.46	OUTDOOR MERCHANTISER

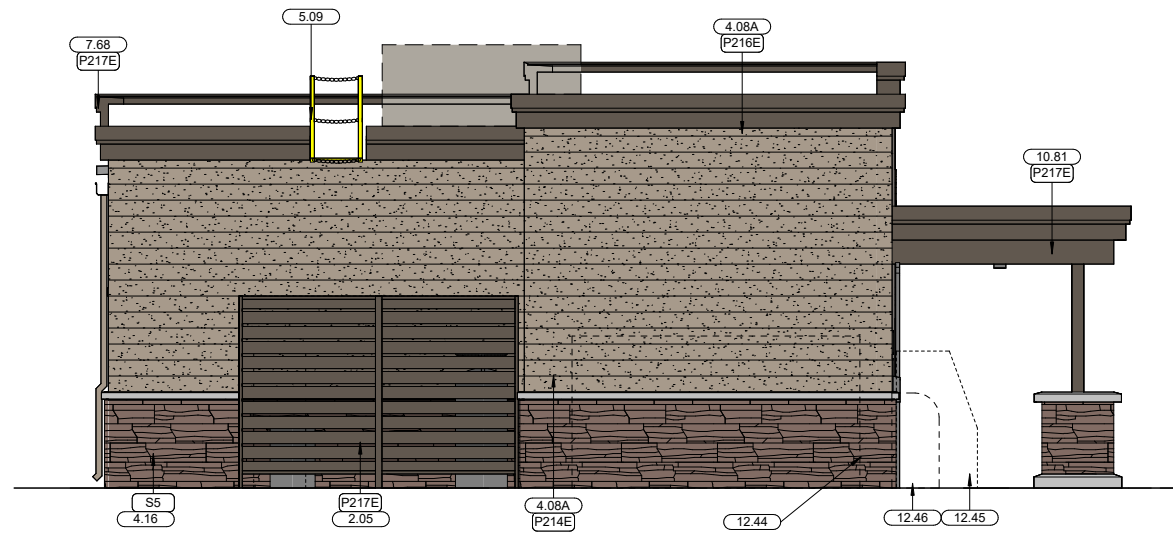
ROOF TOP MECHANICAL EQUIPMENT SHOWN AS DASHED.
WILL NOT BE VISIBLE FROM PROPERTY LINE/STREET



4 SIDE ELEVATION (RIGHT)
1/4" = 1'-0"







3 REAR ELEVATION
1/4" = 1'-0"



2 SIDE ELEVATION (LEFT)
1/4" = 1'-0"

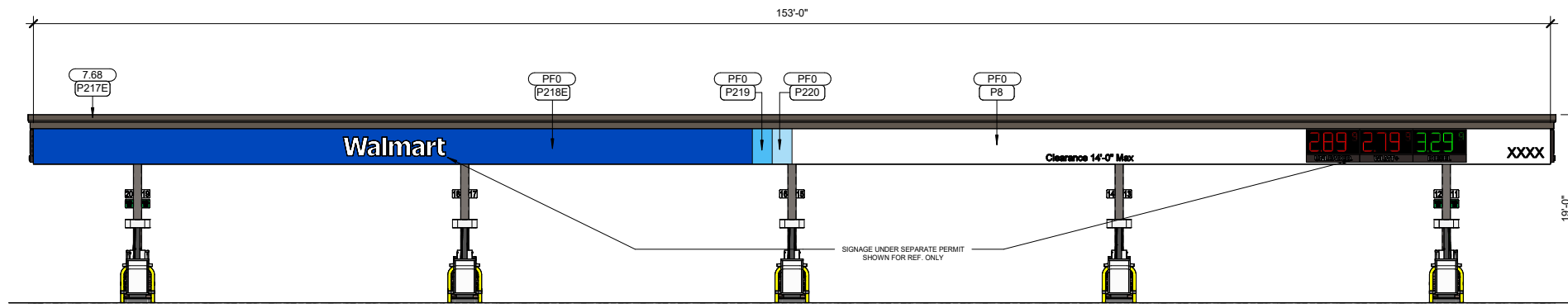


1 FRONT ELEVATION
1/4" = 1'-0"

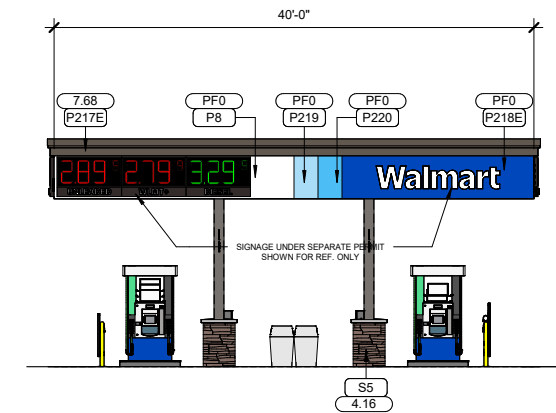
			
P218E TRUE BLUE PAINT MFR: PPG TRUE BLUE	P219 EVERYDAY BLUE PAINT MFR: PPG	P220 SKY BLUE PAINT MFR: PPG	P8 PURE WHITE PAINT MFR: PPG

COLOR LEGEND	
P8	"PURE WHITE" SW #7005
P217E	DARK BRONZE
P218E	PAINT TRUE BLUE
P219	"EVERYDAY BLUE" SW#297
P220	"SKY BLUE" SW #9441
PF0	PREFINISHED METAL
S5	PRO-FIT LEDGESTONE "UMBER CREEK"

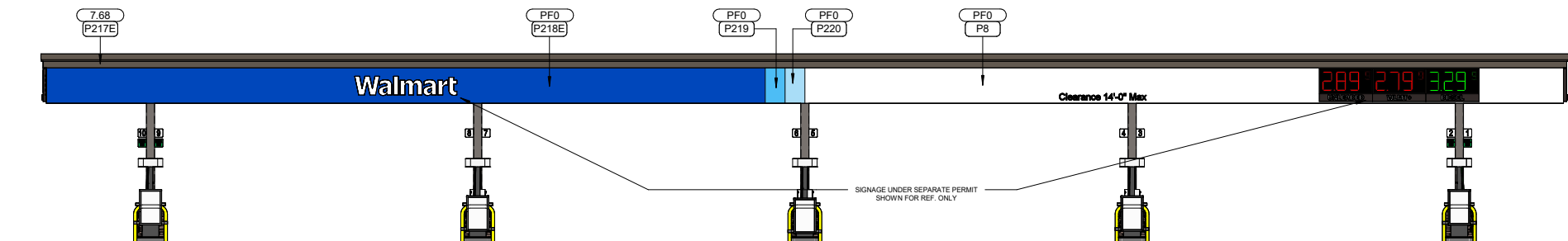
KEYNOTE LEGEND BOD	
4.16	MANUFACTURED STONE VENEER
7.68	EIFS CORNICE



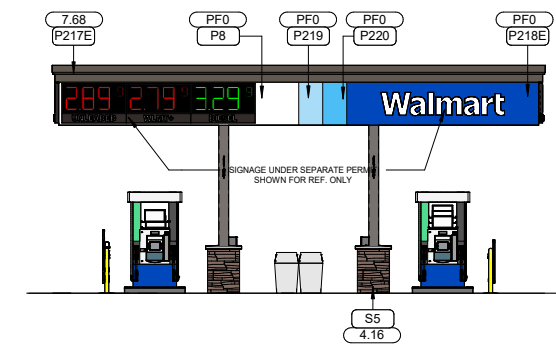
2 FRONT CANOPY
1/8" = 1'-0"



4 SIDE ELEVATION
1/8" = 1'-0"



1 rear canopy
1/8" = 1'-0"



3 LEFT CANOPY
1/8" = 1'-0"



4 SIDE ELEVATION
1" = 20'-0"



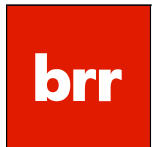
3 SIDE ELEVATION
1" = 20'-0"



2 REAR ELEVATION
1" = 20'-0"



1 FRONT ELEVATION
1" = 20'-0"



06/26/26

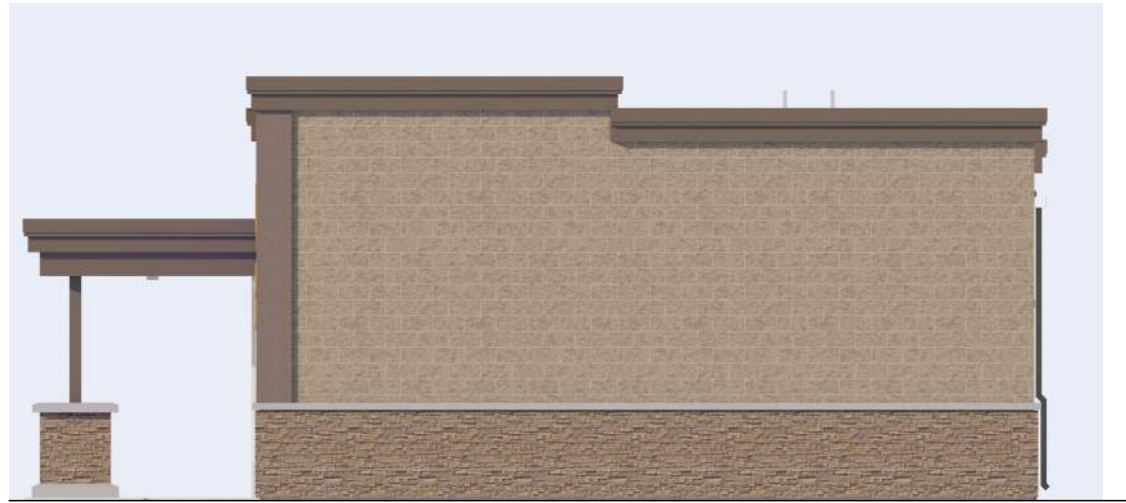
Walmart

3797 - 000

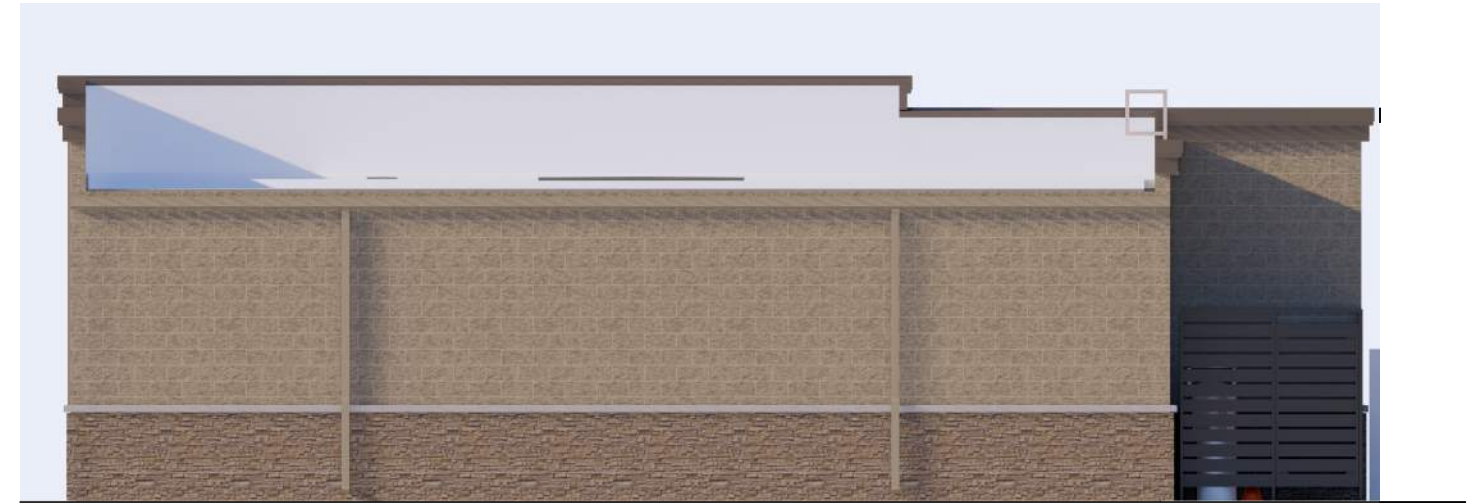
WINDSOR, CO

RENDERED ELEVATIONS

BD13



4 SIDE ELEVATION (RIGHT)
1/4" = 1'-0"



3 REAR ELEVATION
1/4" = 1'-0"



2 SIDE ELEVATION (LEFT)
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"







Kimberly Lambrecht

From: Scott Ballstadt
Sent: Tuesday, May 26, 2026 5:36 AM
To: Kimberly Lambrecht
Subject: FW: Walmart and Windsor

Scott Ballstadt

Director of Planning

Town of Windsor, Colorado
Community Development | Planning

From: James Bosch <jamesbosch@msn.com>
Sent: Monday, May 25, 2026 8:55 AM
To: Scott Ballstadt <sballstadt@windsorgov.com>
Subject: Walmart and Windsor

You don't often get email from jamesbosch@msn.com. [Learn why this is important](#)

Caution: **External Email**

Dear Planning Commission,

As a resident of Windsor, Colorado, specifically the New Windsor subdivision near Grand Ave and CR15, I want to voice concern regarding the proposed WalMart development north of Hwy 392. Since WalMart has a store in Timnath, there is no need for a store or fueling station in Windsor. The traffic on CR15 is already stressed due to the new neighborhoods and municipal buildings. With Grandview Elementary so close, semi-truck and additional automobile traffic would pose higher risk for drivers, bikers, and walking students. The added noise to the community would disrupt classes in the school, and add unnecessary amounts of pollution, not to mention additional hydrocarbon runoff to Ditch #2 which connects to Windsor Lake. Please share these comments to the committee. Please advertise your next meeting regarding this project.

This development will lower property values and hurt small businesses in the area.

Please consider this email as a vote of NO on the proposed WalMart project. I'd rather see a walkable village-style street with an indiscreet parking structure, with electric shuttles that can connect old town with the new. This would add many more sustainable small businesses and food establishments in a walking mall, designed to mimic old world charm. Keep Windsor safe, sustainable, beautiful, clean, and charming.

Sincerely,
James Bosch
(970)980-3158
Windsor, Colorado

Get [Outlook for iOS](#)

Kimberly Lambrecht

From: James Bosch <jamesbosch@msn.com>
Sent: Tuesday, June 16, 2026 10:18 PM
To: Kimberly Lambrecht
Cc: planningtechs
Subject: Re: Walmart Project - Jacoby Farm 9th Subdivision

Caution: **External Email**

Kim,

Thank you for the information. Although the times are not listed on the tentative Planning Commission and Town Board reviews, I will use the link provided to see when they are occurring.

I found this link regarding WalMart and property values from Realtor.com. I hope it can be shared with your constituents: <https://www.realtor.com/news/trends/trader-joes-walmart-home-price-study/>

The noise, light, and hydrocarbon pollution will be significantly higher should this proposed project become reality. In addition, the added traffic will prove problematic for roads and intersections that are already stressed from added development. The WalMart business model will not fit that location and its daily operations may negatively impact local small businesses who are more vested in the health and well-being of the community. In addition, the hidden costs on law enforcement and neighborhood safety will be in question.

Thank you,

James Bosch

Windsor, Colorado
(970) 980-3158

From: Kimberly Lambrecht <klambrecht@windsorgov.com>
Sent: Tuesday, June 16, 2026 11:15 PM
To: Kimberly Lambrecht <klambrecht@windsorgov.com>
Cc: planningtechs <planningtechs@windsorgov.com>
Subject: Walmart Project - Jacoby Farm 9th Subdivision

Good afternoon,

Thank you for your past correspondence regarding the proposed Walmart project at 17th and Main Street. The Town has received a resubmittal of the Site Plan and Minor Subdivision applications, which are currently under review.

In the meantime, dates have been tentatively scheduled for Planning Commission and Town Board review and consideration of Site Plan approval.

- Planning Commission is tentatively scheduled for July 1, 2026.

- Town Board is tentatively scheduled for July 13, 2026.

To confirm that the item has been placed on the agenda, and/or to review the packets for the above referenced Planning Commission and Town Board meetings, please refer to the [Agendas and Minutes](#) webpage. The packet is typically published on the Friday prior to the meeting date.

More information can also be found on the Town Website at: [Proposed Walmart Site](#)

Thank you,

Kim

Kimberly Lambrecht, Assoc. AIA

Long Range Planner

Town of Windsor, Colorado
Community Development | Planning

200 N. 11th St., Windsor, CO 80550

Office: 970-674-2415

Cell: 970-388-5152

windsorgov.com



Kimberly Lambrecht

From: Scott Ballstadt
Sent: Wednesday, November 19, 2025 6:07 AM
To: Mark & Emily Wilson; PLANNING
Cc: Kelly Hall
Subject: RE: Walmart

Hi Emily,

The Town Board at the time of the previous Walmart proposal declined to approve a specific land use request, but that action did not preclude any specific property owner from submitting applications in the future. Walmart owns property in Windsor and is within their right to submit an application for consideration.

Staff is currently reviewing a site plan for a store and it will be presented to Town Board once the review has progressed a bit further to answer questions. I should also point out that the subject property is appropriately zoned for the proposed use.

I will let the planner on the project respond with details regarding the project. Thanks, Scott

Scott Ballstadt

Director of Planning

Town of Windsor, Colorado
Community Development | Planning

From: Mark & Emily Wilson <themarkwilsonfamily@gmail.com>
Sent: Tuesday, November 18, 2025 9:56 PM
To: PLANNING <Planning@windsorgov.com>
Cc: Kelly Hall <mkellyhall@gmail.com>
Subject: Walmart

Some people who received this message don't often get email from themarkwilsonfamily@gmail.com. [Learn why this is important](#)

Caution: **External Email**

We just saw Walmart listed in the Projects Under Review section on the Windsor Development Activity Map.

Can you please give us some additional information about this development? To put it plainly, we want to know if residents have any way of stopping this development.

Windsor has said no to Walmart in the past. What has changed?

- Emily

Kimberly Lambrecht

From: Scott Ballstadt
Sent: Wednesday, February 25, 2026 2:10 PM
To: Susan Carey
Cc: Kimberly Lambrecht
Subject: RE: Design Element Requirements for Big Box Stores

Hi Susan,

Time flies doesn't it? Yes, those design standards are still in place and are being applied to the review. I'm copying Long Range Planner Kim Lambrecht as she is working on the project. We're still going back and forth with them regarding certain elements as is normal for such reviews. We don't have any dates for public meetings yet as the review is not complete, but it may be ready to schedule later this spring/summer.

Please let us know if you have any other questions. Thanks, Scott

Scott Ballstadt

Director of Planning

Town of Windsor, Colorado
Community Development | Planning

From: Susan Carey <1cocanuck@gmail.com>
Sent: Wednesday, February 25, 2026 1:26 PM
To: Scott Ballstadt <sballstadt@windsorgov.com>
Subject: Design Element Requirements for Big Box Stores

Caution: **External Email**

Dear Scott,

Thanks for calling me back yesterday. I have heard that Wall-Mart is coming to Windsor. Although this doesn't thrill me, I believe the Town is much better able to handle a Super Center now than it was 20 years ago. I also feel Wal-Mart is a better corporation than it was in 2005.

My question is, are the stringent design standards that Windsor developed back then still in place now? Not knowing whether we would be successful in keeping Wal-Mart out 20 years ago, our group worked hard with the Planning Commission at that time to establish really excellent design standards. I hope Wal-Mart is being held to these high standards today.

Again, thanks Scott,
Sincerely, Susan Carey

TOWN OF WINDSOR

RESOLUTION NO. 2026-XX

A RESOLUTION OF THE TOWN BOARD OF THE TOWN OF WINDSOR, COLORADO APPROVING A MAJOR SITE PLAN CONCERNING A LARGE RETAIL ESTABLISHMENT WITHIN THE JACOBY FARM SUBDIVISION, NINTH FILING (WALMART)

WHEREAS, the Town of Windsor (“Town”) is a home rule municipality with all powers and authority vested under Colorado law; and

WHEREAS, Windsor Municipal Code (“Code”) Sec. 15-7-30 requires Town Board approval of site plans concerning all retail establishments of more than fifty thousand (50,000) square feet of gross leasable area; and

WHEREAS, the Jacoby Farm Subdivision, Ninth Filing major site plan, concerning the Walmart development, is more than fifty thousand (50,000) square feet of gross leasable area, thus constituting a large retail establishment; and

WHEREAS, Article VII, Chapter 15 of the Code sets forth the design criteria and procedures for large retail establishments; and

WHEREAS, the major site plan for the Walmart development meets the façade, roofing, materials, colors, entryways, parking lot standards and required criteria under the Code; and

WHEREAS, the Town Board finds the major site plan for a large retail establishment within the Jacoby Farm Subdivision, Ninth Filing, concerning the Walmart development meets the site plan design requirements in compliance with Article VII, Chapter 15 of the Code and supports the public health, safety and welfare of the Town.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN BOARD OF THE TOWN OF WINDSOR, COLORADO, AS FOLLOWS:

Section 1. Pursuant to Windsor Municipal Code Article VII, Chapter 15, the major site plan concerning a large retail establishment within the Jacoby Farm Subdivision, Ninth Filing (Walmart), subject to the approval of the final plat, is hereby approved.

Upon motion duly made, seconded and carried, the foregoing Resolution was adopted this ____ day of ____ 2026.

TOWN OF WINDSOR, COLORADO

Julie Cline, Mayor

ATTEST:

Karen Frawley, Town Clerk

[Seal]